



MEETING AGENDA

**MEETING OF THE
HISTORIC PRESERVATION COMMISSION
Wednesday, November 8, 2017
6:00 P.M.
MEMORIAL HALL – MEMORIAL BUILDING
(Tentative & Subject to Change)**

1. CALL TO ORDER

2. MINUTES – Review and approval of the minutes from the October 11, 2017, meeting.

3. PUBLIC HEARING – CERTIFICATE OF APPROPRIATENESS

- a) Case HPC-08-2017 – 107 S. Park Ave. - Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.
- b) Case HPC-09-2017 – 504 S. Oak St. - Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

4. DISCUSSION

- a) 304 S. Lincoln Street – Case HPC-04-2016 (approved on November 9, 2016)
- b) Update letter regarding the Hinsdale Historical Society for Historic Tours App

5. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

Approved

MINUTES
VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

October 11, 2017

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale
6:00 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:00 p.m. on October 11, 2017, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Weinberger,
Commissioner D'Arco, and Commissioner Gonzalez
Absent: Commissioner Williams and Commissioner Willett
Also Present: Applicant for Case HPC-06-2017 and HPC-07-2017

Minutes

Chairman Bohnen introduced the minutes from the September 13, 2017, meeting and asked for any questions. Commissioner Weinberger had two correction requests; (1) under the discussion item for the “Zook House” mobile app, it should reference “Historic Tours” mobile app, and (2), corrected that both the targeted app launch time and Kitchen walk are in May, not October.

Thereafter, the HPC **unanimously approved, 5-0** (2 absent) the minutes.

Public Hearing – Certificate of Appropriateness

Case HPC-06-2017 – 418 S. Park Avenue – Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

The applicant presented to the HPC, the current condition of the house at 418 S. Park Avenue. It was explained that it does not have any historical value, is in bad shape and needs to be demolished. The applicant also reviewed that she spoke with several neighbors, who are in support of the request. Several HPC members were familiar with the house and agreed with the applicant. A discussion about the detached (3rd car) garage and streetscape view determined it would be not inappropriate.

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-06-2017

A motion to **approve** the Certificate of Appropriateness was unanimously approved 5-0, (2 absent) as submitted.

Certificate of Appropriateness in the Historic Downtown District
Case HPC-07-2017 — 52 S. Washington St., – Green Goddess Boutique – Certificate of Appropriateness for a new front entrance plan at the 1st floor retail business in the Historic Downtown District.

The applicant presented to the HPC, the current condition of the commercial building in historic downtown district and the plan to construct a new front façade with elements to match the surrounding buildings and features.

A color rendition of the proposed store front was projected via PowerPoint presentation and described by the applicant representative. The door to the store entrance would be relocated front the center of the building (as it was previous to the accident) to the right side of the building. An HPC Commissioner asked why the relocation of the centered door to the right side of the building. It was reviewed that the proposed recessed door on the right side of the building is likely the original location of the store entry door when the building was constructed and would be a better match with the other buildings on the block. The center front door entrance was modified at some point, explained by the architect of record, who recused himself from voting. The proposed door would look like a house door and be recessed so that it does not open on to the sidewalk.

The applicant noted the knee wall in the proposed picture would appear more crème color and not bright white in reality and be constructed of brick, after an HPC Commissioner asked about the contrasting color on the PowerPoint slide. The applicant also stated the sign above the store would remain the same but be re-located to the center of the building. The sign is currently set off-center. An HPC Commissioner added that the proposed new façade is consistent with the other building frontage on the block.

There were no additional concerns by the HPC.

A motion to **approve** the Certificate of Appropriateness was unanimously approved 4-0, (2 absent, 1 abstained) as submitted.

Discussion Items
Schedule a Special HPC meeting

The Chairman expressed that the HPC has wanted to hold a special meeting to discuss mission/scope and timing on HPC matters. After reviewing dates and times, the HPC set a tentative date and time for a special meeting on Monday, October 23, 2017, at 8:45 AM in the Village Hall large conference room to review the municipal code Title 14. It was requested that staff send to the HPC a PDF via email and a hardcopy of Title 14 (Historic Preservation). Staff has completed this.

Adjournment

Commissioner Bohnen asked for a motion to adjourn. The HPC unanimously agreed to adjourn at 6:42 PM. on October 11, 2017.

Historic Preservation Commission
October 11, 2017

Respectfully Submitted,

 , Village Planner

STATE OF ILLINOIS)
) ss:
 COUNTY OF DU PAGE)

BEFORE THE VILLAGE OF HINSDALE
 HISTORIC PRESERVATION COMMISSION

In the Matter of:)
)
 Case No. HPC-06-2017)
 418 South Park Avenue.)

REPORT OF PROCEEDINGS had and testimony
 taken at the Certificate of Appropriateness
 Public Hearing of the above-entitled matter
 before the Hinsdale Historic Preservation
 Commission, at 19 East Chicago Avenue, Hinsdale,
 Illinois, on the 11th day of October 2017, at
 the hour of 6:00 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;
 MR. FRANK GONZALEZ, Member;
 MS. JANICE D'ARCO, Member;
 MR. JIM PRISBY, Member; and
 MS. SHANNON WEINBERGER, Member.

2

1 ALSO PRESENT:

2 MR. CHAN YU, Village Planner;

3 MS. JULIE LAUX, Applicant;

4 MR. PATRICK FORTELKA, Applicant's
architect.

5 _____

6

7 CHAIRMAN BOHNEN: Case HPC-06-2017
8 418 South Park Avenue. Will the applicants
9 please approach the podium and be sworn in.

06:04:38PM 10 (WHEREUPON, Ms. Laux was
11 administered the oath.)

12 MS. LAUX: Julie Laux, L-a-u-x.

13 CHAIRMAN BOHNEN: Would you like to
14 explain to us what you have in mind for 418
15 South Park Avenue, please.

16 MS. LAUX: Sure. We would like to
17 teardown 418 South Park and construct a new
18 home. I think you all have the plans for that.

19 The existing house is in a state of

06:05:20PM 20 disarray. I sent some photos along with the
21 application. I have some more now.

22 I bought the house in sort of an

3

1 unusual circumstance where I didn't have access
2 to the inside until after the closing. Since
3 that time, I have gone inside. Two feet of
4 drywall is cut in the basement. There was
5 obviously water there and there's quite a bit of
6 mold. It's in a pretty sorry state.

7 CHAIRMAN BOHNEN: Julie, are you
8 proposing to build a spec home here or is this a
9 custom home?

06:05:56PM 10 MS. LAUX: So our typical rhythm, I
11 guess I don't really use those words is, I own
12 the lot right now, my company owns the lot J.
13 Jordan Homes, and we often start the house and
14 then we sell it some time during construction.
15 We don't usually complete a house so I don't
16 really use the word spec.

17 CHAIRMAN BOHNEN: But you obviously
18 start building from a set of plans?

19 MS. LAUX: That is correct.

06:06:20PM 20 CHAIRMAN BOHNEN: So ultimately if
21 someone were to buy it midstream, it would most
22 likely follow the plans?

4

1 MS. LAUX: It does. Especially the
2 outside. There's usually tweaks to the inside
3 but the exterior stays.

4 MR. PRISBY: That was designed without
5 a specific owner attached to it?

6 MS. LAUX: That is correct.

7 CHAIRMAN BOHNEN: Should we discuss it?

8 MS. LAUX: I was going to mention one
9 other thing, John. Sorry to interrupt.

06:06:44PM 10 I know it isn't really part of the
11 requirement, but I met with all the neighbors
12 both as a part of doing our visits for the
13 permit process but also I just so happen to know
14 most of the neighbors and I have emails from all
15 of them weighing in in support of a teardown and
16 a new construction, so if you would like to see
17 those.

18 One homeowner just to the west is
19 out of town, the Templetons, they are in Ireland

06:07:12PM 20 right now, but I have a text from them saying
21 they are in favor and I have met with them
22 previously as well. So the other neighbors are

5

1 all in support of my plan.

2 CHAIRMAN BOHNEN: Who would like to
3 start?

4 MS. WEINBERGER: I'll start. I did not
5 go in the home, but just walking around the home
6 it's another one of these cases where we missed
7 it. The house is already really rough and I'm
8 not sure anything historic is there and it's --
9 yes, not a whole lot of historic there.

06:08:06PM 10 MS. D'ARCO: I agree. The house was on
11 the market for quite some time. It was lucky to
12 get a buyer. So I don't have any opposition to
13 a new home there.

14 MS. LAUX: Thank you.

15 MR. PRISBY: I went past the exterior
16 today, it was in disarray, but I didn't have a
17 chance to go inside.

18 MS. LAUX: I have some photos of the
19 inside if you are interested.

06:08:34PM 20 MR. PRISBY: No. I think I could take
21 their word for it.

22 MS. D'ARCO: The space is being cleared

1 out already?
 2 MS. LAUX: Yes. We took down some of
 3 the trees. Some of the trees were elms and they
 4 were on their way out anyhow. There hadn't been
 5 a lot of landscaping maintenance done there in a
 6 number of years so it needed to clear out.
 7 MS. D'ARCO: I think a new home would
 8 be great. It's a little dreary right now, so a
 9 new home will brighten up that corner.
 10 MS. LAUX: Thank you.
 11 CHAIRMAN BOHNEN: Frank?
 12 MR. GONZALEZ: I have driven by it a
 13 number of times. It doesn't look appealing to
 14 the block or the neighbors. How far -- as I'm
 15 looking, is the new home going to be more or
 16 less on the same footprint?
 17 MS. LAUX: So right now the house is
 18 out with the point of the L towards the
 19 southwest corner and we sort of flipped the L
 20 the other way so the point of the L would be
 21 more towards the prominent corner, which I think
 22 is a better look for the property anyhow.

06:09:10PM

06:09:42PM

1 They are one of my emails that have weighed in
 2 for support.
 3 CHAIRMAN BOHNEN: Would it be right
 4 that this garage would be considerably forward
 5 of the facade of the Trauscht's house?
 6 MS. LAUX: Yes.
 7 MR. PRISBY: The site plan says it's a
 8 35-foot corner side yard setback along Park
 9 Street. Is that established as an average with
 10 the Trauscht's house? Do you know where they
 11 are in relation to the property line?
 12 MS. LAUX: They are quite a bit further
 13 back. We actually before -- I have Pat Fortelka
 14 here who is with Moment Design, my architect, so
 15 maybe he can answer those better, but we did
 16 check our setbacks with the village prior to
 17 buying the property because corners are dicey
 18 and so I know it's within the code.
 19 MR. PRISBY: Well, I'm sure it's within
 20 the code. It just gives me a mental picture on
 21 where this house is in relation to the lot next
 22 to it in terms of how far back off of Park

06:11:56PM

06:12:22PM

1 CHAIRMAN BOHNEN: We seem to be seeing
 2 a lot of these detached third garages. Is there
 3 a big demand for this?
 4 MS. LAUX: So most people want at least
 5 a three-car garage in our town and the house
 6 becomes a little cumbersome when it's three
 7 attached so it gives the house a little
 8 breathing room to detach that third garage.
 9 CHAIRMAN BOHNEN: I guess my concern is
 10 -- and I'd have to look at the streetscape --
 11 but next door is the French chateaux. If I'm
 12 driving down Park Street, am I going to be
 13 bothered by that third garage there as it
 14 pertains to the setback, the Trauscht's house?
 15 MS. LAUX: I don't think so. We are
 16 quite a bit higher than they are elevation wise
 17 and they have a line of landscaping that comes
 18 east to west, so there is landscaping blocking
 19 the Trauscht's property from this property
 20 that's on the Trauscht's, so it will stay as
 21 long as that property remains with the
 22 Trauschts. That property is for sale as well.

06:10:40PM

06:11:18PM

1 Street.
 2 MS. LAUX: It's like a hard question
 3 because the street is also angling very much
 4 towards the west. So if the street went
 5 straight, it would be a completely different
 6 answer but the street is angling back.
 7 MR. PRISBY: I know there's a couple
 8 over there that have crazy setbacks.
 9 MS. LAUX: Yes. Especially this lot.
 10 MS. D'ARCO: There's quite a bit of
 11 distance between where the house currently is
 12 and the Trauschts?
 13 MS. LAUX: Right. The Trauschts have
 14 quite a bit of property and a lot of frontage,
 15 that's for sure. They have no backyard which I
 16 think is an issue for them.
 17 CHAIRMAN BOHNEN: Used to.
 18 MS. LAUX: Yes. Right. But that ship
 19 sailed.
 20 CHAIRMAN BOHNEN: I just kind of
 21 visualize driving down Park Street if this
 22 garage is hanging out like a moving pendant or

06:12:50PM

06:13:16PM

1 something.

2 MS. LAUX: I don't think so. Pat, do
3 you want to weigh in?

4 (WHEREUPON, Mr. Fortelka was
5 administered the oath.)

6 MR. FORTELKA: Patrick Fortelka. The
7 question with the accessory structure, the
8 detached garage, you can see in the exterior
9 elevation -- sorry, mine are marked up. I just
10 got our permit comments back.

06:13:58PM

11 We used two brick kind of wing
12 walls on either side to make a more homogenous
13 kind of a connection between the detached garage
14 and the house itself. We were concerned with
15 the idea of it being an appendage itself. It
16 will have matching material, matching garage
17 door. So it really will go with the house. If
18 code allowed it, we had hoped to put a gate
19 between those two structures that would really
20 kind of bring them together, make them feel as
21 one, but unfortunately the code doesn't allow
22 for that. That said, the garage itself is quite

06:14:28PM

1 down Park Street, am I going to see the side of
2 this one-car garage?

3 MS. LAUX: It's stepping way back.

4 MR. PRISBY: The road jogs out.

5 MS. LAUX: Well, it jogs out sort of
6 north of there. So it's jogging back, I think,
7 it's jogging back west as you get to the south
8 end of the property.

9 MR. PRISBY: I'm looking at our general
10 zoning map here. So I'm just looking at if my
11 property is here, right, the Trauscht's house is
12 over here. (Indicating.)

06:16:00PM

13 MS. LAUX: You drew your circle way too
14 far. It's way up here.

15 MR. PRISBY: That's what I'm wondering
16 if I'm seeing this as I come down here it's the
17 side of the one-car garage.

18 MS. LAUX: You will not. There's a
19 line of landscaping. Let me just check my
20 photos and see if we have a photo.

06:16:38PM

21 MR. PRISBY: That would be very helpful
22 for me. That's just a concern that I had when I

1 a bit lower than the house so it has a nice
2 rhythm, it kind of grows up to the corner.

3 MS. LAUX: And we like that the space
4 between the accessory structure and the main
5 structure because some of the less attractive
6 parts of the house, the air-conditioners, et
7 cetera, are in that space so they are not
8 bothering the neighbors on the perimeter.

9 CHAIRMAN BOHNEN: Anybody else?

10 MR. PRISBY: I think those are fair
11 points. I like the screening off the air-
12 conditioners. I do like the idea of not having
13 a wing of three cars coming out. You see that a
14 lot.

06:15:02PM

15 MS. LAUX: It's not that cute, right.

16 MR. PRISBY: My only concern on this is
17 when you drive north on Park Street because of
18 how that road jogs around and because of where
19 the Trauscht's house is located, I can't kind of
20 picture it completely here.

06:15:28PM

21 If I'm all the way down at Sixth
22 Street, Seventh Street and I'm looking north

1 saw this. I wouldn't be that opposed to where
2 it is if there's something that would improve
3 that elevation. That's something that you are
4 driving from a few blocks away and all I see is
5 the side of a one-car brick detached garage as
6 my focus piece, I have issue with that. I
7 didn't drive by there with that kind of thought
8 in mind.

9 MS. LAUX: That's looking a little bit
10 south of the house now and so the garage would
11 be kind of here. (Indicating.)

06:17:14PM

12 MR. PRISBY: Chan, can you show that
13 from the south looking north?

14 CHAIRMAN BOHNEN: There you go, north
15 on Park.

16 MR. PRISBY: I see the vegetation
17 which, by the way, thank you for taking down.

18 MS. LAUX: Yes. But a lot of that,
19 interestingly, once we sort of cleared our
20 property, there is a nice line of vegetation on

06:18:12PM

21 the Trauscht's property that feels very much
22 like a blocker. That's what I was trying to see

1 if I had a photo that shows that.

2 MR. PRISBY: The black box there just
3 to the left of that there's some kind of tree or
4 vegetation there.

5 MS. LAUX: There's some great poplar
6 trees there too that help.

7 MR. PRISBY: It looks like a red roof
8 forward of that.

9 MS. LAUX: We are 39 off the parkway.

06:19:58PM 10 MR. PRISBY: See where this house is in
11 relation to that? (Indicating.)

12 MS. LAUX: I have a topo right here.

13 (Discussion had off the record.)

14 MR. PRISBY: I don't have an issue.
15 It's far enough back, there's enough vegetation
16 in between that I'm not staring at the green
17 monster.

18 MS. LAUX: Thank you.

06:23:38PM 19 CHAIRMAN BOHNEN: Let the record show
20 that we had a discussion about the positioning
21 of the third garage and I think everybody is
22 satisfied that it will not be a problem as far

1 as the streetscape.

2 MS. LAUX: Thank you.

3 CHAIRMAN BOHNEN: Are there any other
4 comments or questions that we have?

5 MS. D'ARCO: I was just going to ask
6 about timing.

7 MS. LAUX: So I'd like to get started
8 as soon as possible. We got our comments back
9 from the village like a week ago and so we
10 should be back in for our revision this week.

06:24:10PM 11 I'm anxious to get started; it doesn't look very
12 good, and the winter is coming so the sooner the
13 better for me. The day I get a permit, the day
14 the fencing goes up and I'm ready to rock so I'm
15 all set up.

16 MS. WEINBERGER: This is red brick?

06:24:42PM 17 MS. LAUX: It's going to be probably an
18 acid-washed brick. There's a product called
19 ROMABIO that we like. Let me show you just two
20 photos. Obviously this isn't the house but just
21 to give you some concept. Can you see it from
22 there?

1 MR. FORTELKA: It's a lime wash,
2 actually, that is better than paint and let's a
3 little bit of the brick come through, very
4 historic look to it.

5 MS. LAUX: And whether it's an antique
6 brick or not, something definitely textural not
7 really flat. Something very natural looking,
8 which is almost always what we do.

06:25:18PM 9 MR. GONZALEZ: With regards to the
10 present home, are you going to do anything with
11 reclaiming anything from the home?

12 MS. LAUX: I have scoured the place for
13 anything to reclaim and so far all I have come
14 up with is the flagstone. There's quite a bit
15 of flagstone on the property in the walks and so
16 we are going to reclaim that. I can't find
17 anything else to save.

18 MR. GONZALEZ: How old is the house?

06:25:42PM 19 MS. LAUX: I should know that, but my
20 guess is the '50s.

21 MR. GONZALEZ: I was just thinking of
22 the timber what kind of wood they were using.

1 MR. PRISBY: '52.

2 MS. LAUX: No. There's just nothing.
3 And I did meet with the deconstruction people to
4 see if that was an option. It's just not.

5 CHAIRMAN BOHNEN: Okay. So we seem to
6 be pretty much in concert here. We will be
7 looking for a motion. The motion can be either
8 a motion to approve it as submitted, or you can
9 have your approval conditioned by conditions
10 where you meet with Julie and Patrick one more
11 time before they go and break ground.

06:26:28PM 12 MR. PRISBY: Well, I stated numerous
13 times in these hearings that I won't do it with
14 conditions. I'm interested in the special
15 meeting getting in front of this. They
16 submitted, they are in for permit, they got
17 their comments back, they are ready to go.

18 CHAIRMAN BOHNEN: So why don't you make
19 a motion that we approve this as submitted?

06:26:54PM 20 MR. GONZALEZ: There's not going to be
21 any deviation from the facade of what we see
22 here; correct?

1 MS. LAUX: I can't say any because
2 there's always minor modifications. I mean,
3 maybe the door is not herringbone. I don't have
4 any intentions of making any modifications from
5 what I have presented.

6 MR. GONZALEZ: All right.

7 CHAIRMAN BOHNEN: May I have a motion,
8 please?

9 MR. PRISBY: I make a motion to approve
10 as submitted.

06:27:20PM

11 CHAIRMAN BOHNEN: Second, please?

12 MS. WEINBERGER: I'll second.

13 CHAIRMAN BOHNEN: All in favor?

14 (All aye.)

15 Your application is approved.

16 MS. LAUX: Thank you very much.

17 (WHICH, were all of the
18 proceedings had, evidence
19 offered or received in the
20 above entitled cause.)

21

22

1 STATE OF ILLINOIS)
) ss:
2 COUNTY OF DU PAGE)

3 I, KATHLEEN W. BONO, Certified
4 Shorthand Reporter, Notary Public in and for the
5 County DuPage, State of Illinois, do hereby
6 certify that previous to the commencement of the
7 examination and testimony of the various
8 witnesses herein, they were duly sworn by me to
9 testify the truth in relation to the matters
10 pertaining hereto; that the testimony given by
11 said witnesses was reduced to writing by means
12 of shorthand and thereafter transcribed into
13 typewritten form; and that the foregoing is a
14 true, correct and complete transcript of my
15 shorthand notes so taken aforesaid.

16 IN TESTIMONY WHEREOF I have
17 hereunto set my hand and affixed my notarial
18 seal this 30th day of October, A.D. 2017.

19

20

KATHLEEN W. BONO,
C.S.R. No. 84-1423

21

22

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MEMORANDUM

DATE: November 8, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 107 S. Park Avenue – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District to Construct a New Home – H-08-2017

Summary

The Village of Hinsdale has received an application from the homeowner, Teresa Liu, and requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house at 107 S. Park Avenue. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on a corner lot in the Robbins Park Historic District. The existing home was constructed in 1940 in a French Eclectic style. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted site plan, it is a legal nonconforming R-1 lot that is 12,137 SF in area. The existing home, per the National Register of Historic Places, is a contributing structure to the Robbins Park Historic District.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the HPC on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



MEMORANDUM

Attachments:

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 – National Register of Historic Places Sheet for the subject property (highlighted)

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 107 SOUTH PARK AVE. HINSDALE
 Property Identification Number: 09-12-208-001

I. GENERAL INFORMATION

1. Applicants Name: YUNG & TERESA LIU
 Address: 107 SOUTH PARK AVE
HINSDALE.
 Telephone Number: 630-484-5692

2. Owner of Record (if different from applicant): TERESA L. LIU LIVING TRUST
 Address: DATED March
 Telephone Number: SAME AS ABOVE

3. Others involved in project (include, name, address and telephone number):
 Architect: BRIAN PETERSON OF Michael Abraham Architecture
630-655-9417 X304, 148 Burlington Ave. C.H. 60514
 Attorney: _____
 Builder: _____
 Engineer: Ridge Line Engineering LLC, 1661 Aucutt Rd., Montgomery IL.
630-861-7927 60538

II. SITE INFORMATION

1. Describe the existing conditions of the property: Poor, functionally obsolete,
and not enough space

2. Property Designation:

Listed on the National Register of Historic Places?	___ YES	___ <input checked="" type="checkbox"/> NO
Listed as a Local Designated Landmark?	___ YES	___ <input checked="" type="checkbox"/> NO
Located in a Designated Historic District?	___ <input checked="" type="checkbox"/> YES	___ NO

3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary). We PLAN TO TEAR DOWN THE EXISTING HOME IN ITS ENTIRETY and

A NEW home will be built on the location. Please see attached Plans.

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

No Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

From: Teresa Liu teresaliu3@gmail.com
Subject: 107 South Park Ave. Hinsdale
Date: Oct 12, 2017, 8:45:48 PM
To: sharon431@gmail.com

*Subject Property (Front Elevation)
West*



From: Teresa Liu teresaliu3@gmail.com
Subject: 107 South Park, Hinsdale IL (North Elevation)
Date: Oct 12, 2017, 8:49:57 PM
To: sharon431@gmail.com

*Subject Property
(North Elevation)*



From: Teresa Liu tygliu@aol.com
Subject: 107 South Park Ave., Hinsdale IL (East Elevation)
Date: Oct 12, 2017, 8:52:03 PM
To: Liu, Sharon H shliu1@kpmg.com

*Subject Property
(East Elevation)*



From: Teresa Liu teresaliu3@gmail.com
Subject: 130 East First St. Hinsdale
Date: Oct 12, 2017, 8:47:33 PM
To: sharon431@gmail.com

Home to the West (SW
Across the Street Corner)
of 1st &
Park)



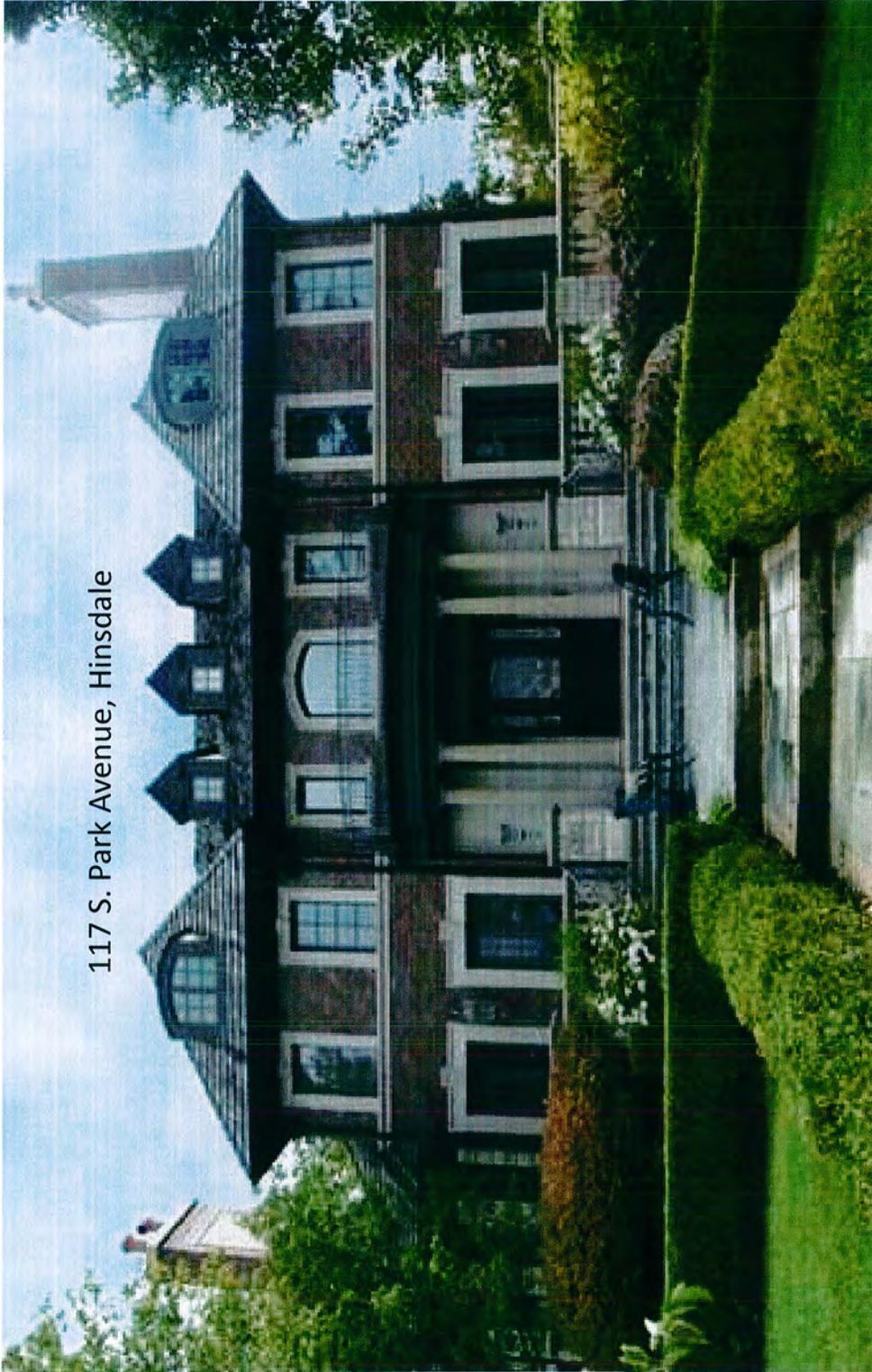
From: Teresa Liu teresaliu3@gmail.com
Subject: 45 S Park Hinsdale
Date: Oct 12, 2017, 8:44:23 PM
To: sharon431@gmail.com

*Home to the North (NE Corner)
of 1st & Park
Across the street*

Pls pry a copy



*Home to the South
Adjacent*

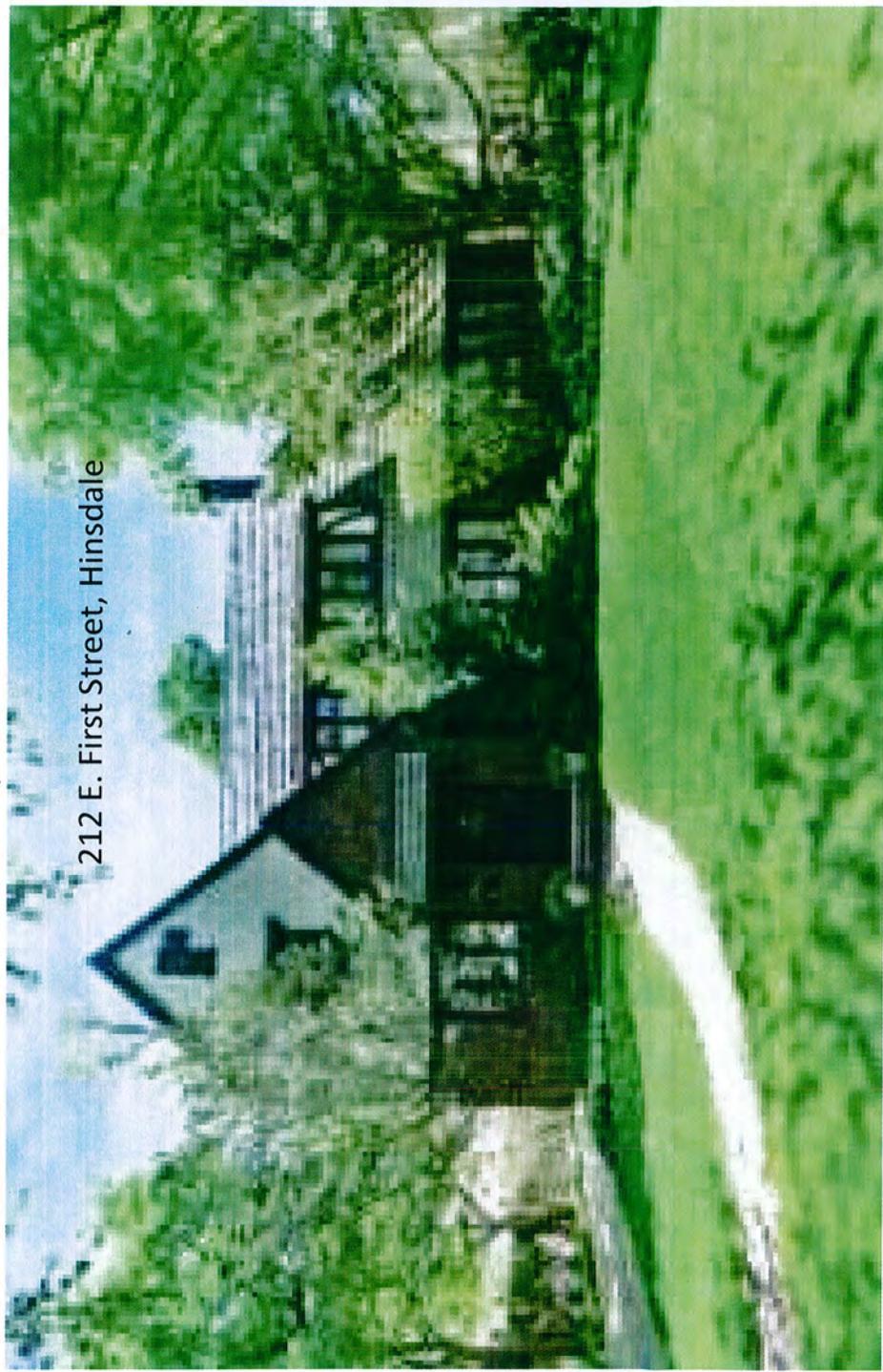


117 S. Park Avenue, Hinsdale

Home to the East

Adjacent

212 E. First Street, Hinsdale



File S1519204D - Legal Addendum

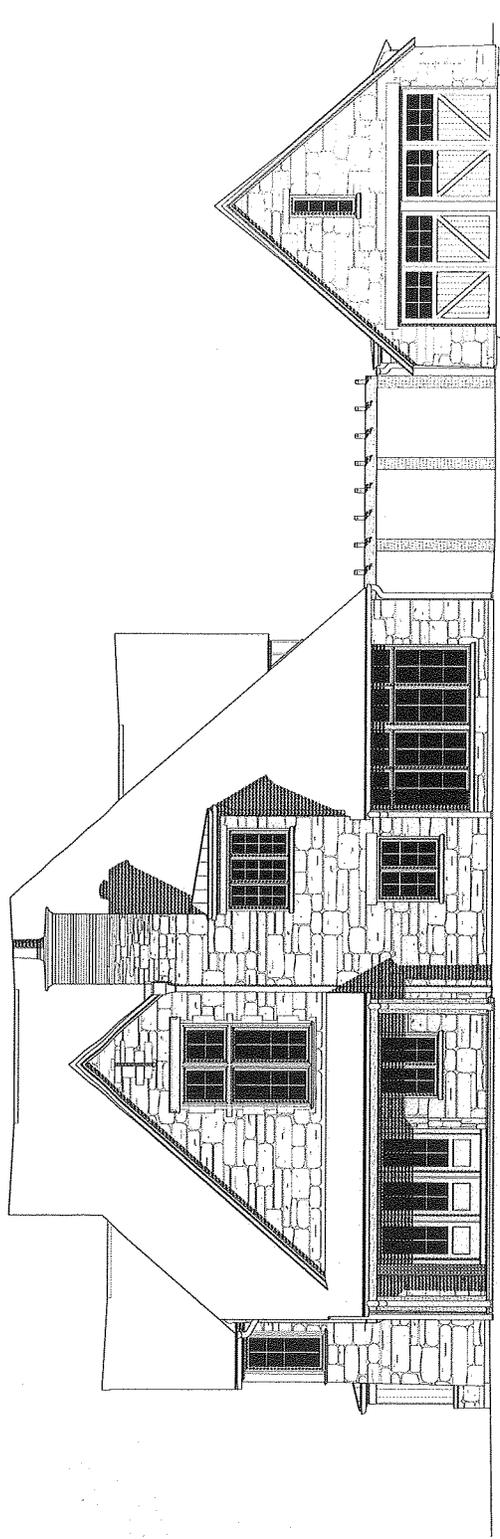
LEGAL:

THE EAST 75.00 FEET TO THE WEST 108.00 FEET (EXCEPT THE SOUTH 100.00 FEET THEREOF AND EXCEPT THE NORTH 33.00 FEET THEREOF) OF THE NORTHWEST 1/4 OF BLOCK 6 IN WM. ROBBINS 1ST ADDITION TO THE TOWN OF HINSDALE, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866 AS DOCUMENT 7893, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 107 S PARK AVE.
HINSDALE, IL 60521

PIN: 09-12-208-001-0000

11/15/2011 10:00 AM



THE LIU RESIDENCE

107 SOUTH PARK AVENUE HINSDALE IL

MICHAEL ABRAHAM ARCHITECTURE

148 BURLINGTON AVENUE CLARENDON HILLS IL PHONE 630/655-9417 MICHAEL-ABRAHAM.COM



NORTH-WEST PERSPECTIVE

LIU RESIDENCE



LILI RESIDENCE

SOUTH-WEST PERSPECTIVE

PROJECT NO: 16019
 DRAWN BY: South Elevation

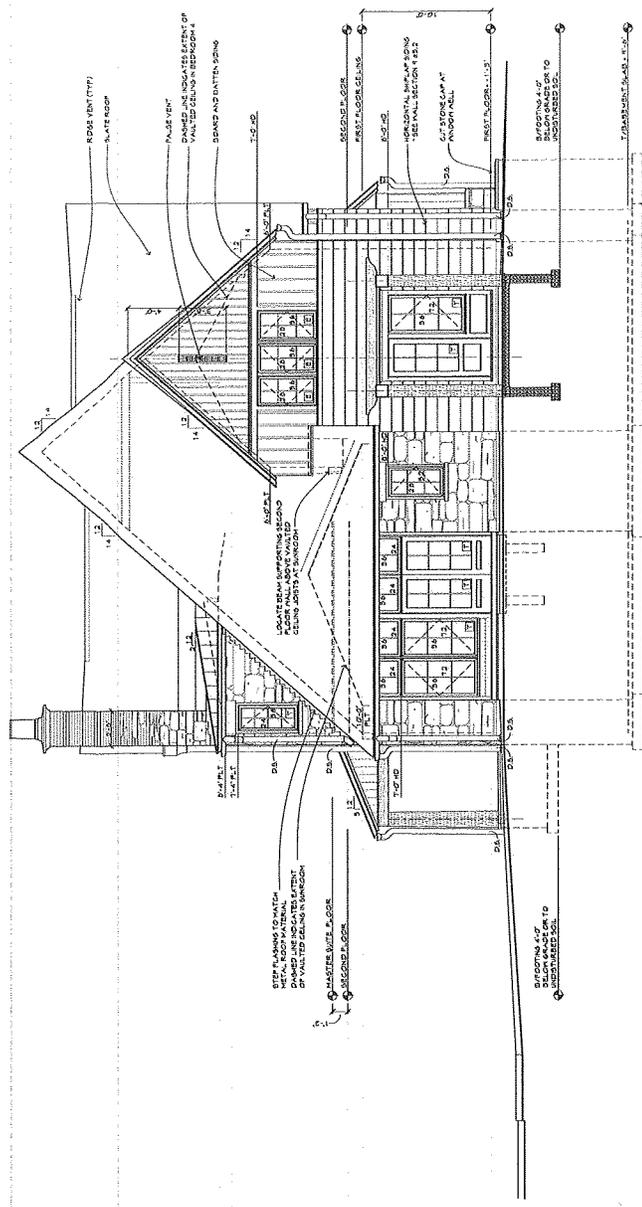
CHECKED: MA
 DATE: 10/13/17

DOCUMENT: 107 S. Park Avenue
 Hinsdale, IL
 The Liu Residence

MICHAEL ABRAHAM
 ARCHITECTURE

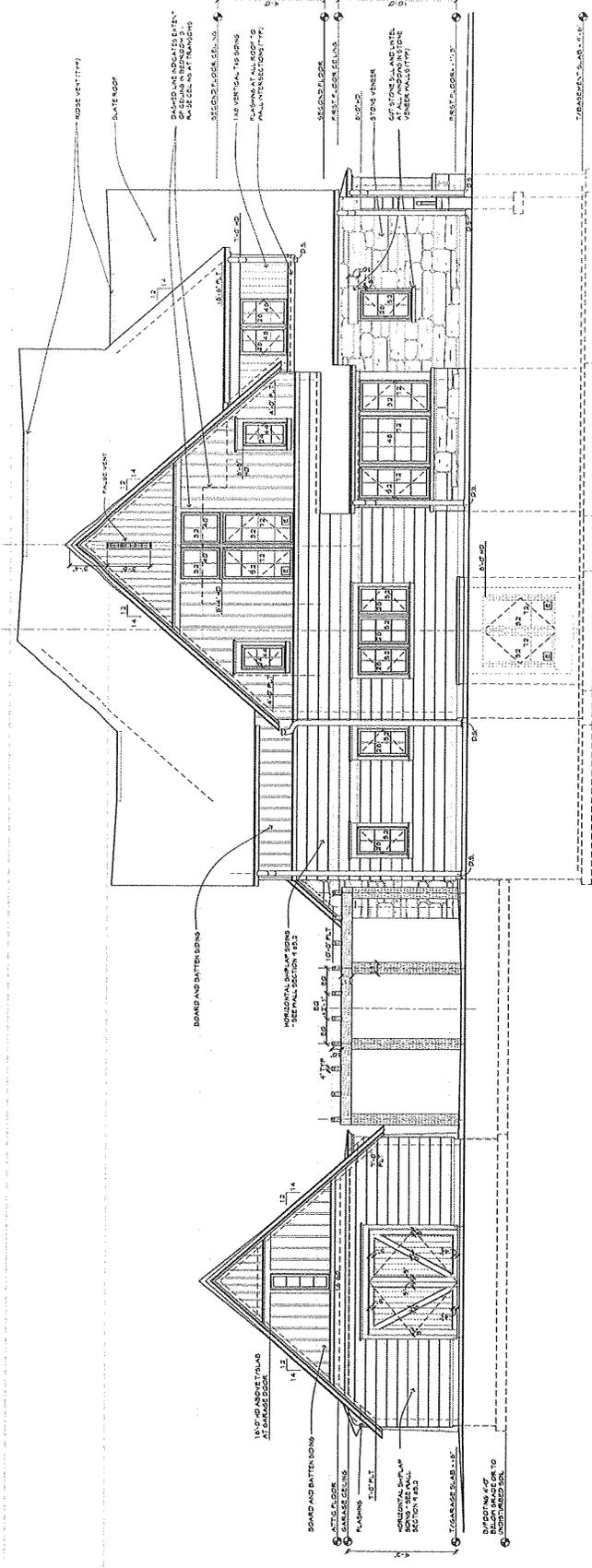
ELEVATION NOTES

- 1. ALL DIMENSIONS ARE PER TOP OF FINISH FLOOR UNLESS NOTED OTHERWISE.
- 2. ALL DIMENSIONS ARE PER CENTERLINE UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS ARE PER EXTERIOR FACE UNLESS NOTED OTHERWISE.
- 4. ALL DIMENSIONS ARE PER INTERIOR FACE UNLESS NOTED OTHERWISE.
- 5. ALL DIMENSIONS ARE PER CENTERLINE UNLESS NOTED OTHERWISE.
- 6. ALL DIMENSIONS ARE PER EXTERIOR FACE UNLESS NOTED OTHERWISE.
- 7. ALL DIMENSIONS ARE PER INTERIOR FACE UNLESS NOTED OTHERWISE.
- 8. ALL DIMENSIONS ARE PER CENTERLINE UNLESS NOTED OTHERWISE.
- 9. ALL DIMENSIONS ARE PER EXTERIOR FACE UNLESS NOTED OTHERWISE.
- 10. ALL DIMENSIONS ARE PER INTERIOR FACE UNLESS NOTED OTHERWISE.



SOUTH ELEVATION
 1/8" = 1'-0"

ELEVATION NOTES
 READ NOTES NOTED ANNOTATION TO TOP
 ALL DIMENSIONS UNLESS OTHERWISE NOTED
 ALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED
 ALL TRIM AS PER SCHEDULE
 DOOR AND WINDOW SIZES PER MANUFACTURER'S
 *E DIMENSIONS INTO FRAME SYSTEM
 CEILING R. VALUE R14
 FLOOR R. VALUE R15
 FLOOR R. VALUE R15



EAST ELEVATION
 1/4" = 1'-0"

0'-0" • EL. 108'-2"

Decided Garage Elevation
 PROJECT NO: 10015
 DRAWN BY: GP
 CHECKED: MA

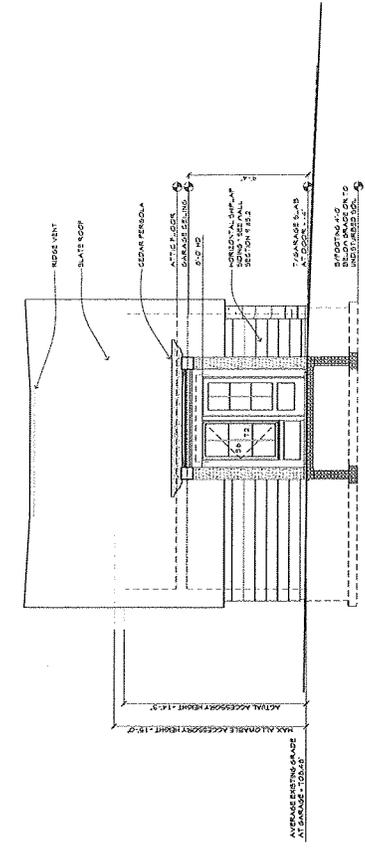
DOCUMENT: Issued for Permit 02.23.17
 Issued for Bid 02.29.17

The Liu Residence
 107 S. Park Avenue
 Hinsdale, IL

MICHAEL ABRAHAM
 ARCHITECTURE

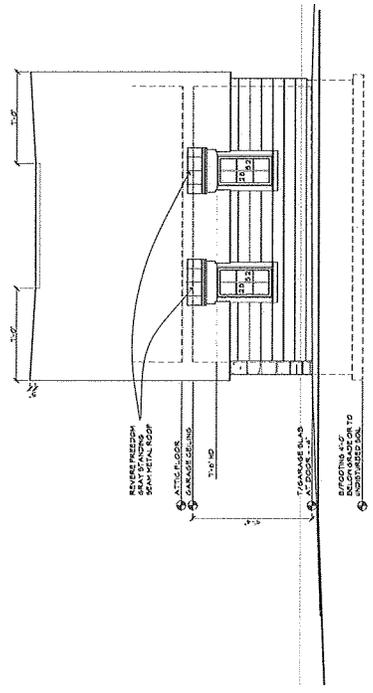
ELEVATION NOTES

- 1. ALL DIMENSIONS ARE FROM TOP OF FIN. 1ST FLOOR TO TOP OF FIN. 2ND FLOOR UNLESS OTHERWISE NOTED.
- 2. ALL MATERIALS TO BE MANUFACTURED WITH 25% ANTICORROSION PROTECTION.
- 3. CEILING AND FLOOR FINISHES TO BE MATCHED TO INTERIOR FINISHES.
- 4. CEILING AND FLOOR FINISHES TO BE MATCHED TO INTERIOR FINISHES.
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- 10. FINISHES TO BE MATCHED TO INTERIOR FINISHES.



NORTH ELEVATION
 1/8" = 1'-0"

NOTE: PROVIDE ALTERNATE PRICE FOR STUCCO IN LIEU OF ADD SIDING



SOUTH ELEVATION
 1/8" = 1'-0"

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.

PROVIDE MINIMUM CLEARANCE OF 2" BETWEEN CONCRETE SLABS AND ALL OTHER MATERIALS.

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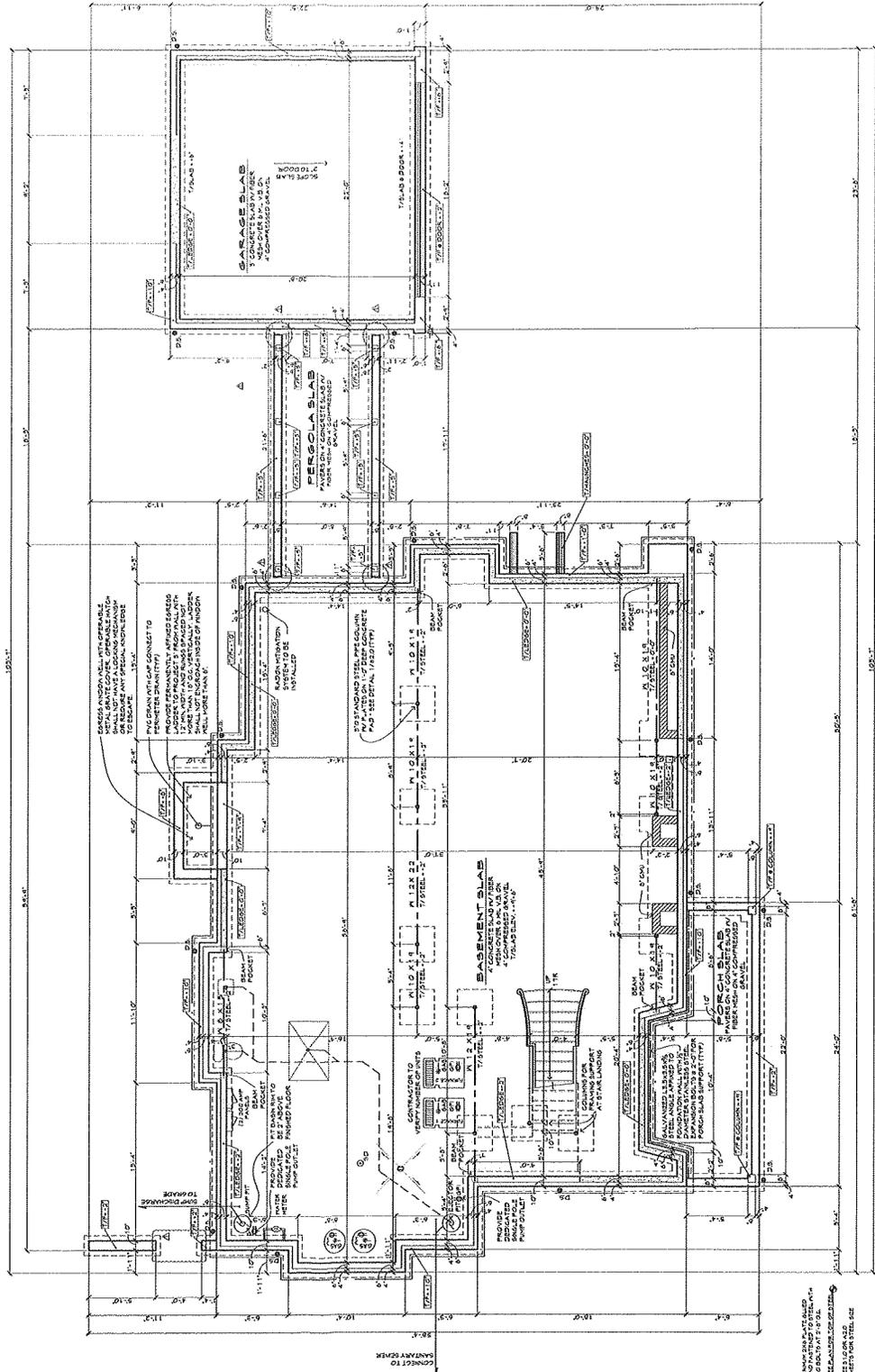
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PROVIDE MINIMUM CLEARANCE OF 2" BETWEEN CONCRETE SLABS AND ALL OTHER MATERIALS.



SECTION AT COLUMN AND FOOTING
SCALE 3/4" = 1'-0"

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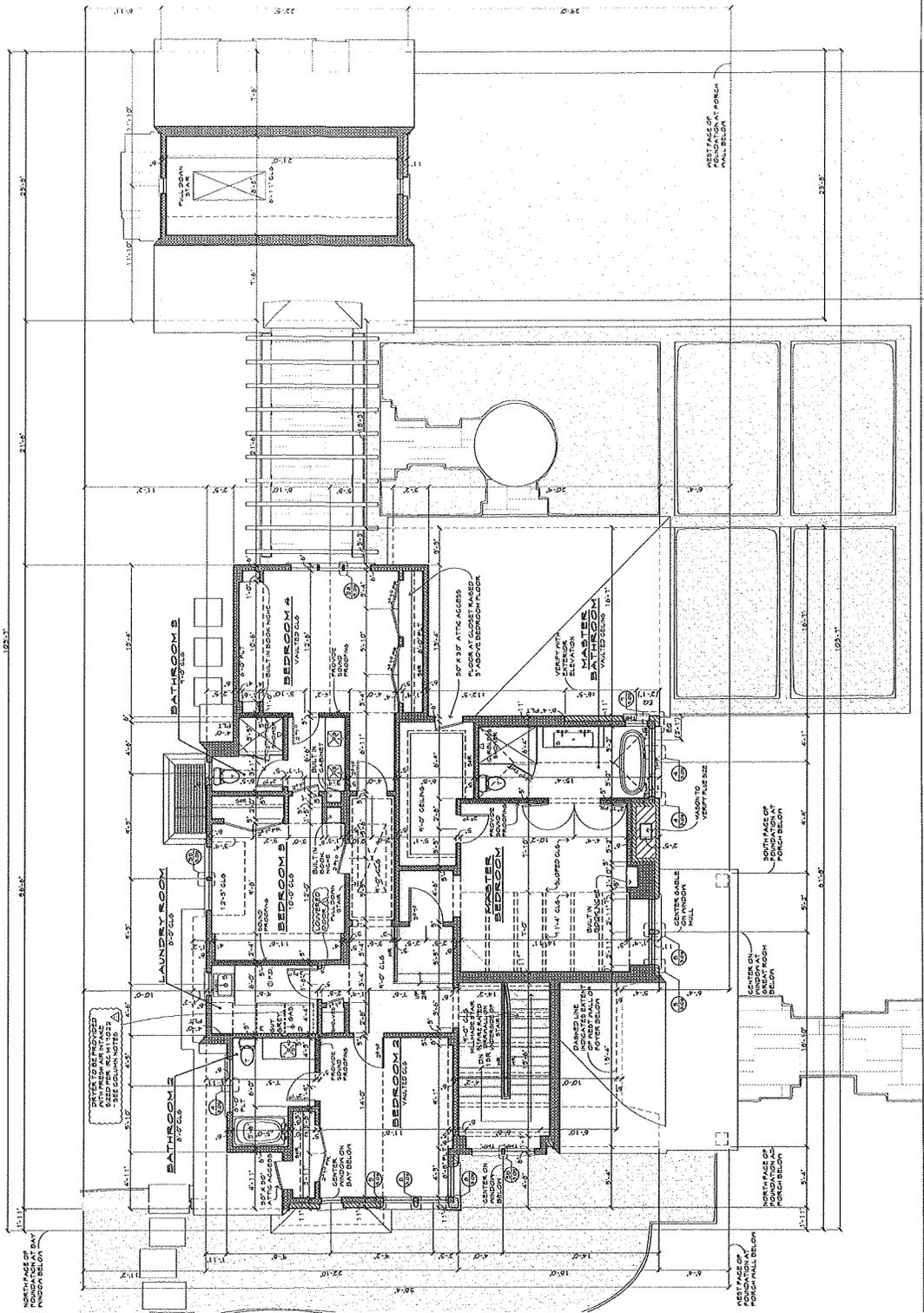
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100. SECTION AT COLUMN AND FOOTING



PLAN NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE IN FEET AND INCHES. DIMENSIONS IN BRACKETS ARE IN FEET AND INCHES. DIMENSIONS IN SQUARE BRACKETS ARE IN FEET AND INCHES. DIMENSIONS IN CIRCLES ARE IN FEET AND INCHES. DIMENSIONS IN TRIANGLES ARE IN FEET AND INCHES. DIMENSIONS IN DIAMONDS ARE IN FEET AND INCHES. DIMENSIONS IN STARS ARE IN FEET AND INCHES. DIMENSIONS IN HEARTS ARE IN FEET AND INCHES. DIMENSIONS IN SPINDLES ARE IN FEET AND INCHES. DIMENSIONS IN ASTERISKS ARE IN FEET AND INCHES. DIMENSIONS IN WAVES ARE IN FEET AND INCHES. DIMENSIONS IN CROSSES ARE IN FEET AND INCHES. DIMENSIONS IN DOTS ARE IN FEET AND INCHES. DIMENSIONS IN DASHES ARE IN FEET AND INCHES. DIMENSIONS IN UNDERLINES ARE IN FEET AND INCHES. DIMENSIONS IN OVERLINES ARE IN FEET AND INCHES. DIMENSIONS IN TILDES ARE IN FEET AND INCHES. DIMENSIONS IN CARETS ARE IN FEET AND INCHES. DIMENSIONS IN ACCENTS ARE IN FEET AND INCHES. DIMENSIONS IN CHECKS ARE IN FEET AND INCHES. DIMENSIONS IN SLASHES ARE IN FEET AND INCHES. DIMENSIONS IN BACKSLASHES ARE IN FEET AND INCHES. DIMENSIONS IN PERCENTS ARE IN FEET AND INCHES. DIMENSIONS IN PLUS SIGNS ARE IN FEET AND INCHES. DIMENSIONS IN MINUS SIGNS ARE IN FEET AND INCHES. DIMENSIONS IN MULTIPLICATION SIGNS ARE IN FEET AND INCHES. DIMENSIONS IN DIVISION SIGNS ARE IN FEET AND INCHES. DIMENSIONS IN EQUAL SIGNS ARE IN FEET AND INCHES. DIMENSIONS IN GREATER THAN SIGNS ARE IN FEET AND INCHES. DIMENSIONS IN LESS THAN SIGNS ARE IN FEET AND INCHES. DIMENSIONS IN NOT EQUAL SIGNS ARE IN FEET AND INCHES. DIMENSIONS IN ALL OTHER SIGNS ARE IN FEET AND INCHES.

2. VERIFY FLOOR FINISH AT PORTALS.

3. VERIFY FLOOR FINISH AT PORCH.

4. VERIFY FLOOR FINISH AT TERRACE.

5. CENTER ON GREAT ROOM BELOW.

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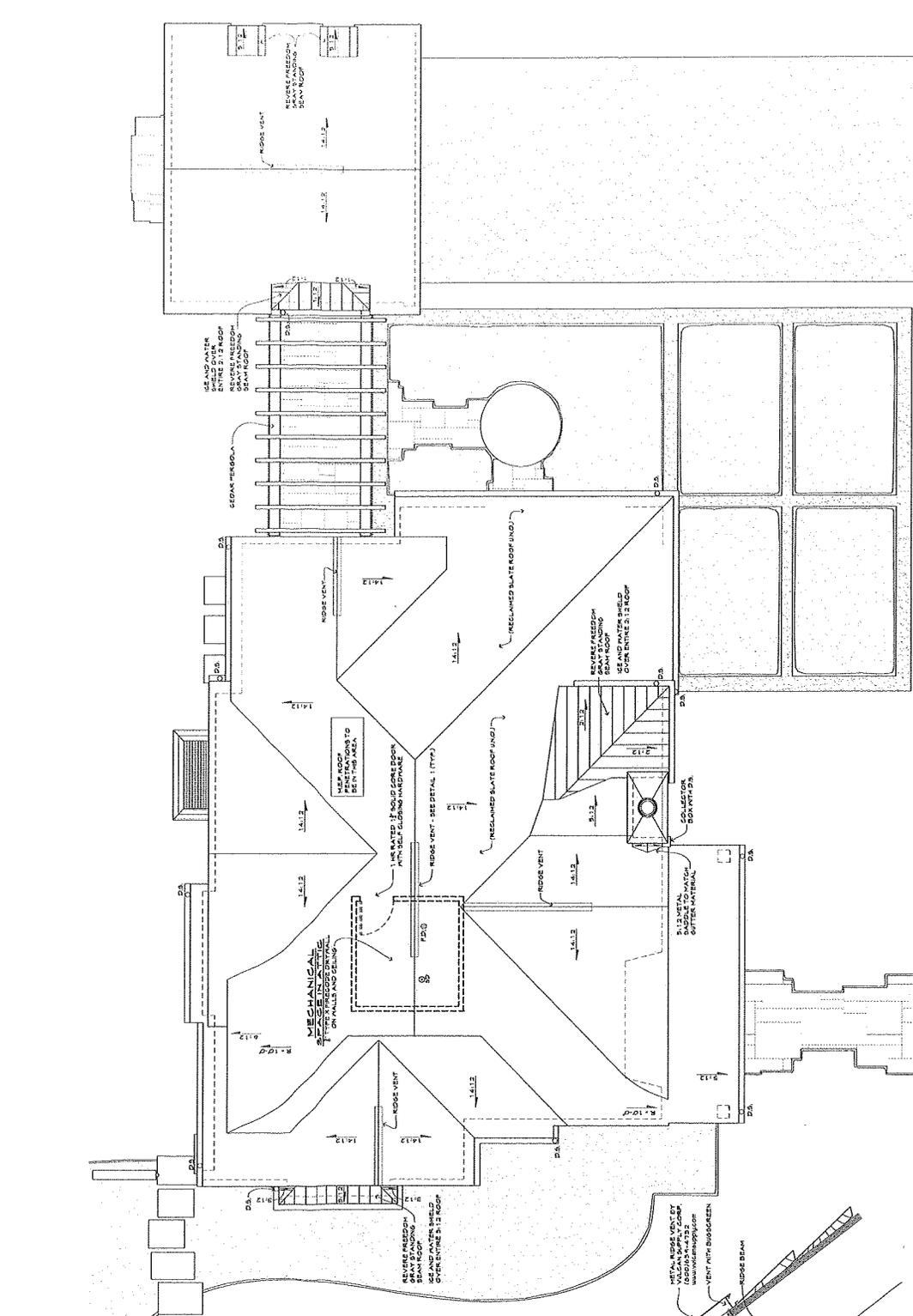
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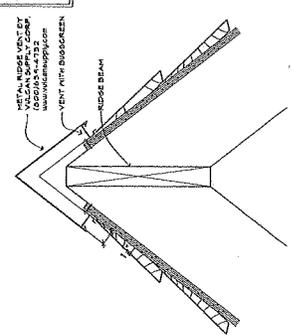
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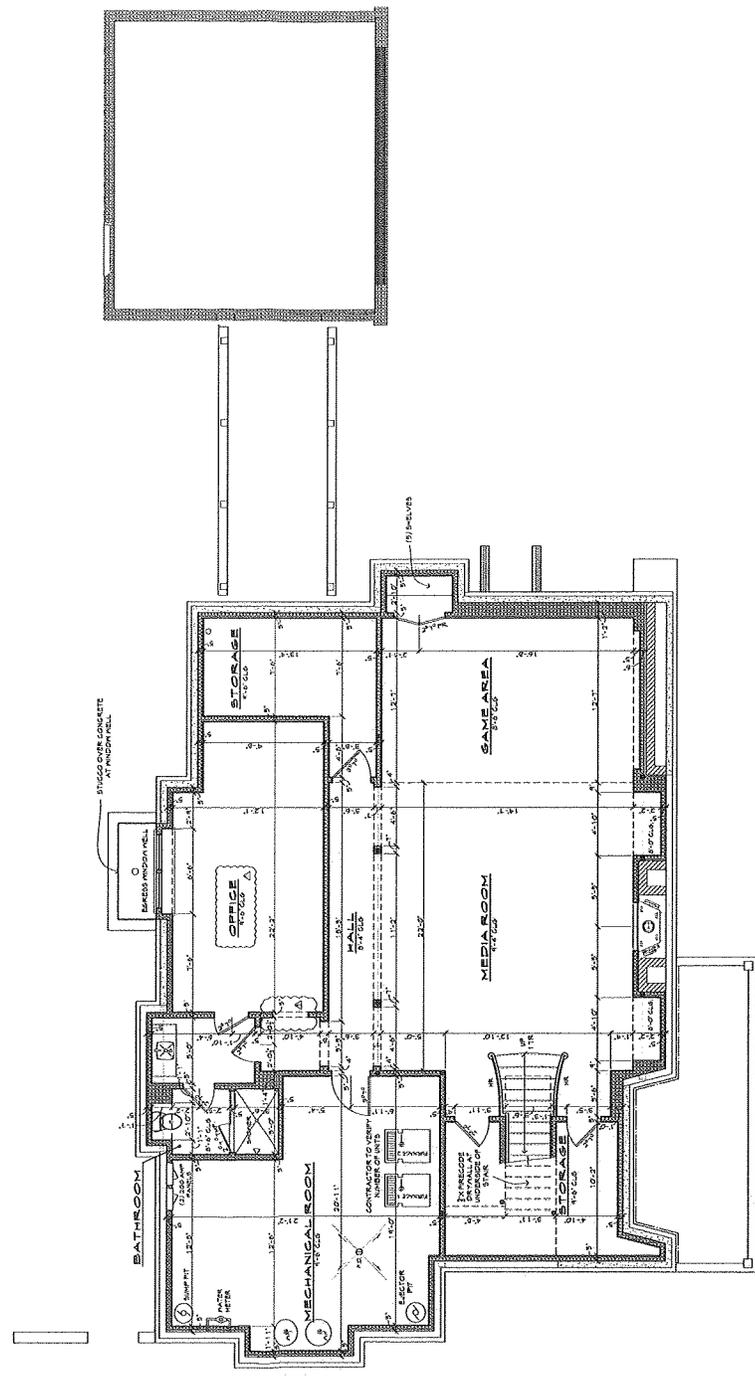
100. CENTER ON GREAT ROOM BELOW.



ROOF NOTES
 1. SEAM WATER SHIELD OVER ENTIRE ROOF OF S-13 FLOOR LEVEL.
 2. PROVIDE R-4.5 BATTEN INSULATION AND G-30 MEMBRANE OVER ENTIRE ROOF TO PROTECT FROM WEATHER.
 3. PROVIDE R-4.5 BATTEN INSULATION AND G-30 MEMBRANE OVER ENTIRE S-13 ROOF TO PROTECT FROM WEATHER.
 4. PROVIDE R-4.5 BATTEN INSULATION AND G-30 MEMBRANE OVER ENTIRE S-13 ROOF TO PROTECT FROM WEATHER.
 5. PROVIDE R-4.5 BATTEN INSULATION AND G-30 MEMBRANE OVER ENTIRE S-13 ROOF TO PROTECT FROM WEATHER.

SECTION RIDGE VENT
 9'-11 1/2"





ELECTRICAL LEGEND

- 1. POWER DISTRIBUTION PANEL
- 2. 100 AMP SERVICE PANEL
- 3. 200 AMP SERVICE PANEL
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ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.

2. THE ELECTRICAL SYSTEM SHALL BE DESIGNED TO PROVIDE ADEQUATE SERVICE TO ALL LOADS AND TO BE PROTECTED BY OVERCURRENT DEVICES.

3. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.

4. THE ELECTRICAL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS FOR ALL EQUIPMENT.

5. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ELECTRICAL INSPECTION DEPARTMENT.

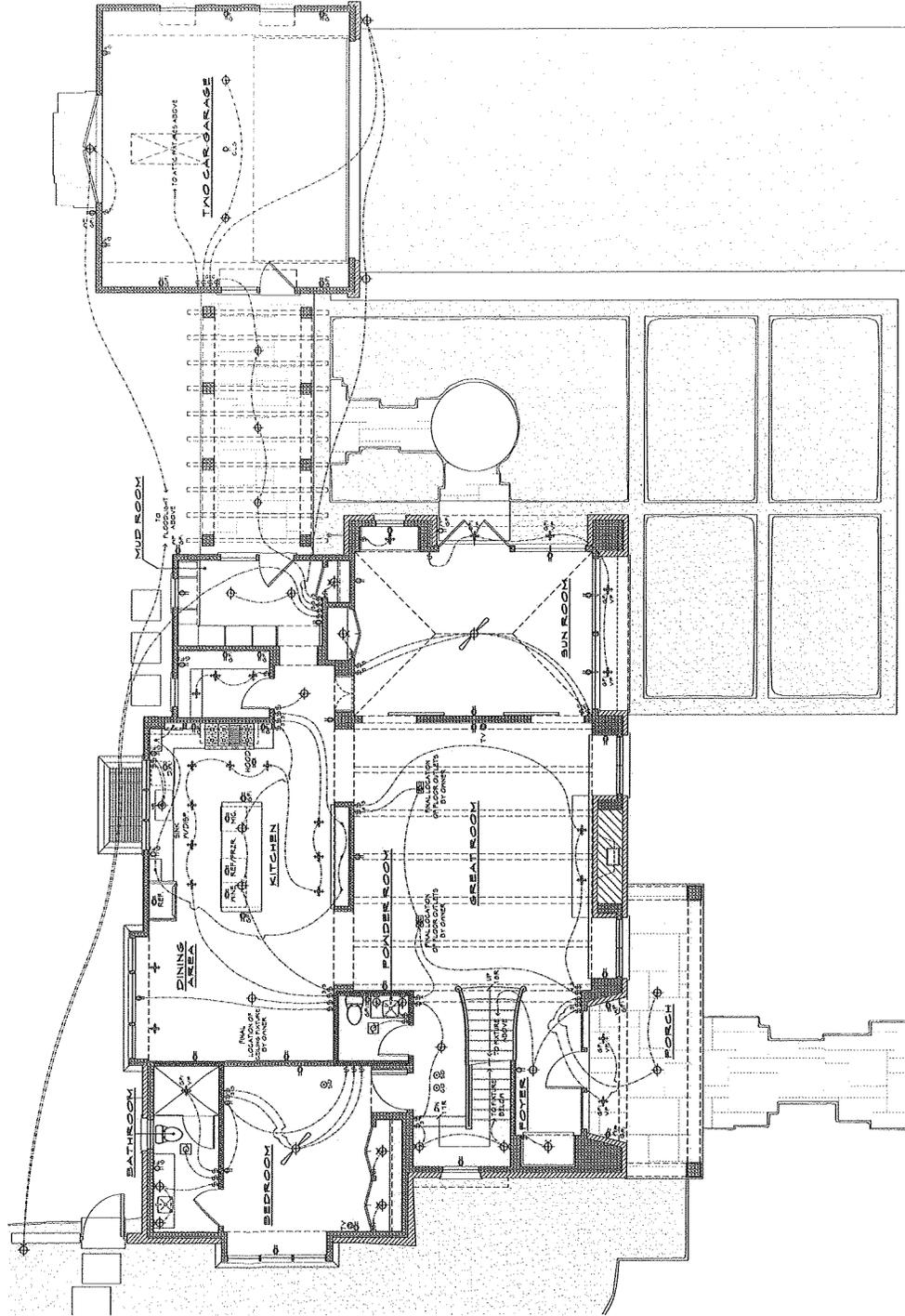
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FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

MICHAEL ABRAHAM ARCHITECTURE

The Liu Residence
107 S. Park Avenue
Hinsdale, IL

PROJECT NO: 16019
DRAWN BY: [Name]
CHECKED: [Name]
DATE: 8/23/17
REVISION: [Number]

83.1

ELECTRICAL LEGEND

- 1. 120V/240V SERVICE
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- 78. 120V/240V SERVICE
- 79. 120V/240V SERVICE
- 80. 120V/240V SERVICE
- 81. 120V/240V SERVICE
- 82. 120V/240V SERVICE
- 83. 120V/240V SERVICE
- 84. 120V/240V SERVICE
- 85. 120V/240V SERVICE
- 86. 120V/240V SERVICE
- 87. 120V/240V SERVICE
- 88. 120V/240V SERVICE
- 89. 120V/240V SERVICE
- 90. 120V/240V SERVICE
- 91. 120V/240V SERVICE
- 92. 120V/240V SERVICE
- 93. 120V/240V SERVICE
- 94. 120V/240V SERVICE
- 95. 120V/240V SERVICE
- 96. 120V/240V SERVICE
- 97. 120V/240V SERVICE
- 98. 120V/240V SERVICE
- 99. 120V/240V SERVICE
- 100. 120V/240V SERVICE

ELECTRICAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE ILLINOIS ELECTRICAL CODE (IEC).

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE (NFPA) AND THE ILLINOIS FIRE ALARM CODE (IFAC).

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL WIRE AND CABLE CODE (NWC) AND THE ILLINOIS WIRE AND CABLE CODE (IWCC).

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL COMMUNICATIONS CODE (NCC) AND THE ILLINOIS COMMUNICATIONS CODE (IICC).

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL SOUND AND VIBRATION CODE (NSV) AND THE ILLINOIS SOUND AND VIBRATION CODE (ISV).

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL MECHANICAL CODE (NMC) AND THE ILLINOIS MECHANICAL CODE (IMC).

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL PLUMBING AND HEATING CODE (NPH) AND THE ILLINOIS PLUMBING AND HEATING CODE (IPH).

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL GAS CODE (NGC) AND THE ILLINOIS GAS CODE (IGC).

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL SAFETY CODE (NSC) AND THE ILLINOIS SAFETY CODE (ISC).

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND THE ILLINOIS CONSTRUCTION CODE (ICC).

11. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

12. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

13. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

14. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

15. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

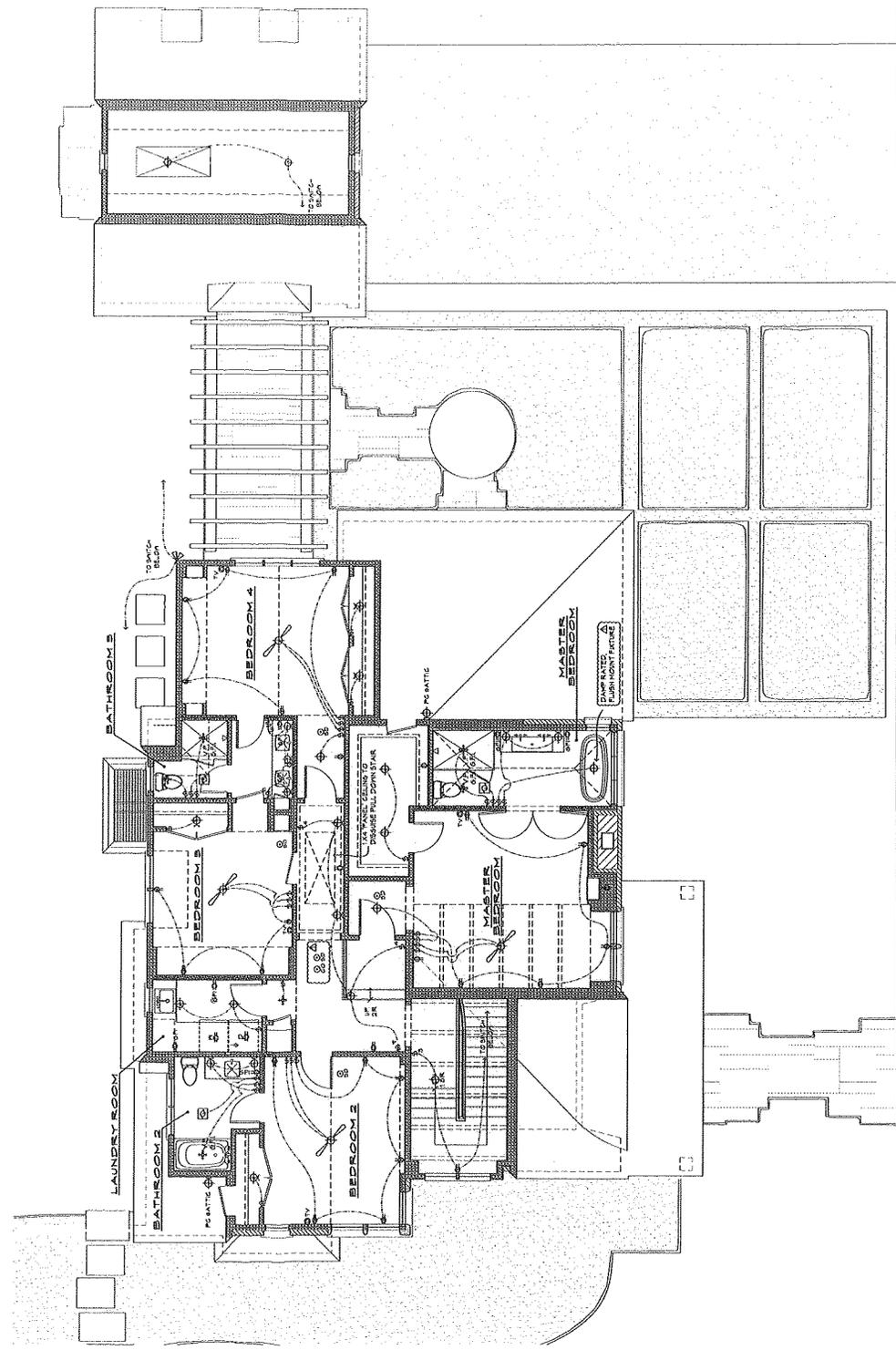
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

17. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

18. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

19. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).

20. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE ILLINOIS ELECTRICAL CONTRACTORS ASSOCIATION (IECA).



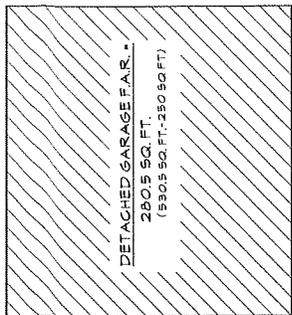
MICHAEL ABRAHAM ARCHITECTURE

The Liu Residence
107 S. Park Avenue
Hinsdale, IL

PROJECT NO: 16619
DRAWN BY: BP
CHECKED: MA
DATE: 10/13/17

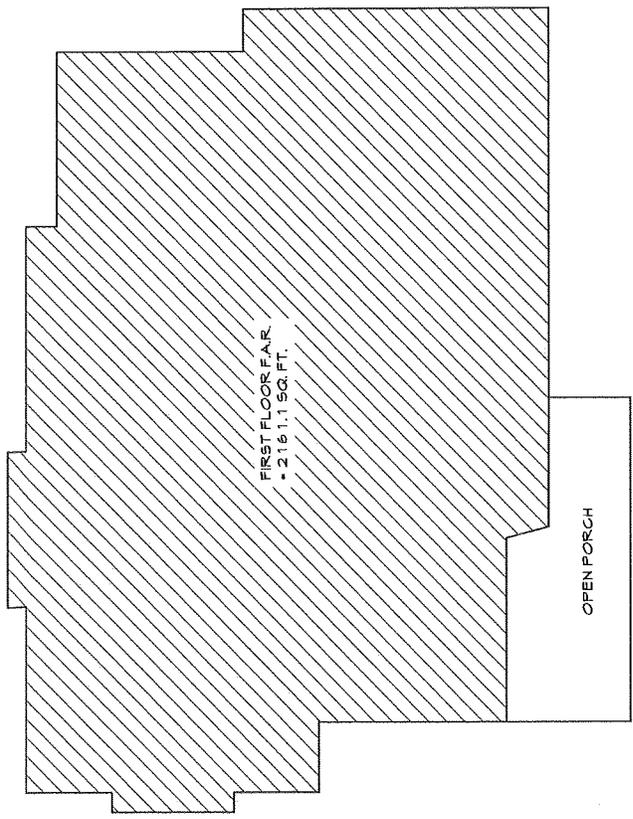
SECOND FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

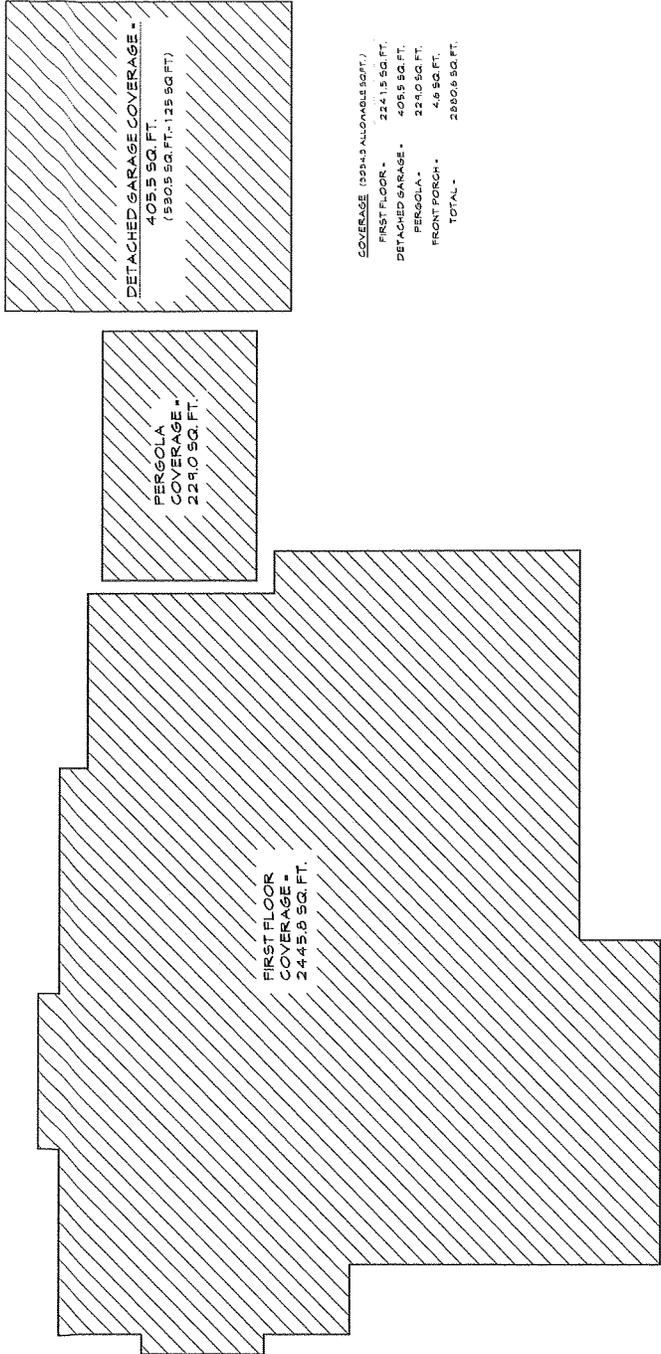
83.2



F.A.R. (4128 ALLOWABLE SQ. FT.)

FIRST FLOOR *	216.11 SQ. FT.
DETACHED GARAGE *	280.5 SQ. FT.
SECOND FLOOR *	166.11 SQ. FT.
DET. GAR. STUDIO	0.0 SQ. FT.
TOTAL *	4102.81 SQ. FT.

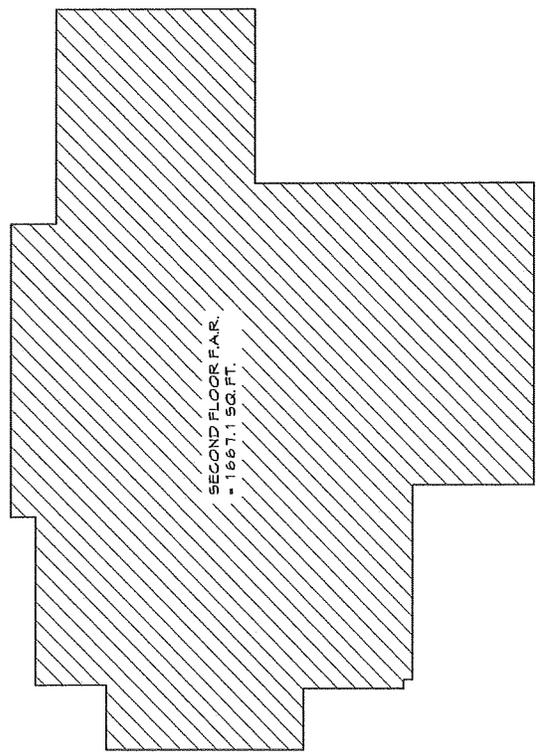
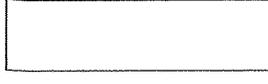




FIRST FLOOR PLAN AND DETACHED GARAGE BUILDING COVERAGE OVERLAY
 1/4" = 1'-0"

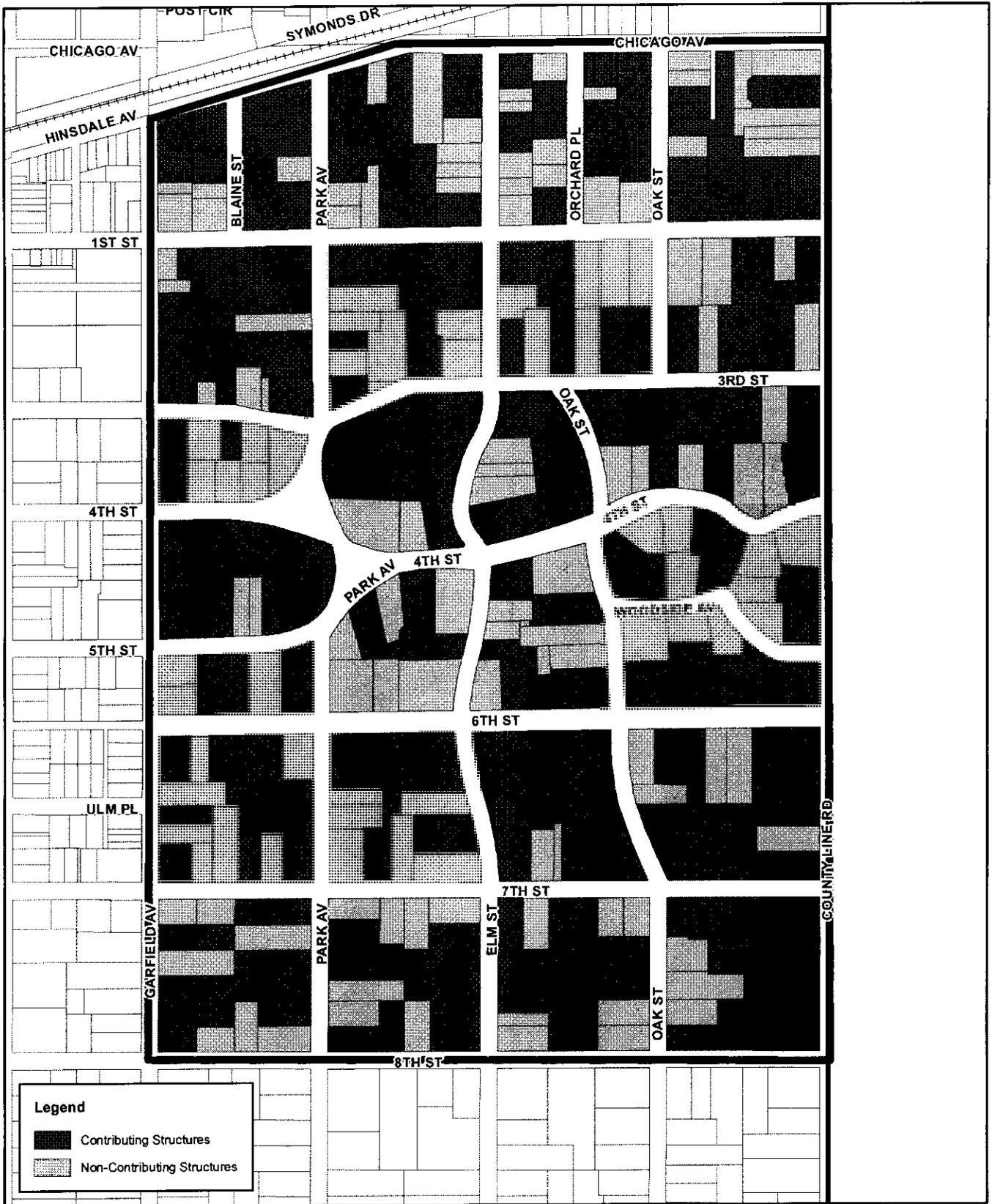
PROJECT NO: 16079	DRAWN BY: BP	DOCUMENT: Resident Permit B 23 17	122 BURLINGTON AVENUE CLAREMONT HILLS, ILLINOIS 60518 P 630 456 2437 MICHAEL ABRAHAM.COM
CHECKED: MA		The Liu Residence 107 S. Park Avenue Hinsdale, IL	
MICHAEL ABRAHAM ARCHITECTURE			

ATTIC F.A.R. =
0 SF. (ceiling
joists 6" - 1"
above floor)



SECOND FLOOR F.A.R.
= 1667.1 SQ. FT.

ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 17

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
29	ORCHARD	Italianate	c. 1875		C	C			detached garage
34	ORCHARD	Neo-Traditional	1996	Gutman, Phil House	NC	-	DVL Design	Wightman Homes	
35	ORCHARD	Dutch Colonial Revival	1924	Reiher, William H. House	C	NC	Braucher, Ernest	Brochman	detached garage
40	ORCHARD	Contemporary	c. 1960		NC	-			
7	S PARK	American Foursquare	c. 1910		C	NC			detached garage
13	S PARK	American Foursquare	c. 1910		C	C			detached garage
14	S PARK	Queen Anne	1888	Grabo, Herman House	C	NC			detached garage
17	S PARK	Queen Anne	c. 1895		C	NC			detached garage
18	S PARK	Cape Cod	1938		C	-			
23	S PARK	Colonial Revival	c. 1890	Roth, David House	C	NC			detached garage
24	S PARK	Queen Anne	c. 1880		C	NC			detached garage
26	S PARK	Colonial Revival	c. 1905	Hetzler, Howard George House	C	C			detached garage
29	S PARK	Gothic Revival	1868	Lake, Daniel House	C	NC			detached garage
34	S PARK	Queen Anne	c. 1895		NC	-			
37	S PARK	French Eclectic	c. 1925		C	C			detached garage
39	S PARK	Neo-Traditional	1969		NC	-	Murphy & Assoc., W. D.	Koplin & Co., Inc., Alfred N.	
45	S PARK	Neo-Colonial	1971		NC	-			
107	S PARK	French Eclectic	c. 1940		C	NC			detached garage
117	S PARK	Neo-Traditional	2003		NC	-			
124	S PARK	Ranch	c. 1955		C	-			
125	S PARK	Neo-Traditional	2001-02		NC	-			
132	S PARK	Neo-Traditional	2005-06		NC	-			
133	S PARK	Tudor Revival	1924	Mark, N. H. House	C	C	Briggs, Ella (NYC)	Lacey, P.	detached garage
134	S PARK	Colonial Revival	1908	Root, Charles G. House	C	C	Rawson, Lorin A.		detached garage



MEMORANDUM

DATE: November 8, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 504 S. Oak Street – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District to Construct a New Home – H-09-2017

Summary

The Village of Hinsdale has received an application from Bayit Builders, LLC, on behalf of the property owner, Avra Properties, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house at 504 S. Oak Street. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on an interior lot in the Robbins Park Historic District. The existing home was constructed in 1940, with no particular historic category per the National Register of Historic Places, and a noncontributing structure to the Robbins Park Historic District. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted site plan, it is a legal nonconforming R-1 lot that is 25,894 SF in area.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the HPC on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



MEMORANDUM

Attachments:

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 – National Register of Historic Places Sheet for the subject property (highlighted)

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 504 S OAK
 Property Identification Number: 09-12-225-009

I. GENERAL INFORMATION

1. Applicants Name: Bayit Builders
 Address: 212 W Van Buren
Chicago 60607
 Telephone Number: 312-588 1497

2. Owner of Record (if different from applicant): Avra Properties
 Address: 212 W Van Buren
 Telephone Number: 708 903 5800

3. Others involved in project (include, name, address and telephone number):
 Architect: Plunkett Architects
19 N Grant Hinsdale 630-789-8100
 Attorney: _____
 Builder: _____
 Engineer: Gabriel Group - PO Box 5376
Oak Brook 630-772-9393

II. SITE INFORMATION

1. Describe the existing conditions of the property: Single Family Residence
built in 1993/94.

2. Property Designation:

Listed on the National Register of Historic Places?	___ YES	<input checked="" type="checkbox"/> NO
Listed as a Local Designated Landmark?	___ YES	<input checked="" type="checkbox"/> NO
Located in a Designated Historic District?	<input checked="" type="checkbox"/> YES	___ NO

3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

Removal of existing structure. Build new single family residence per plans

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

No Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

INDIVIDUAL OWNERS

Signature of Applicant

Signature of Applicant

CORPORATION

Signature of Applicant's President

Signature of Applicant's Secretary

PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

Signature

OTHER

James Doherty

Signature of Authorized Officer

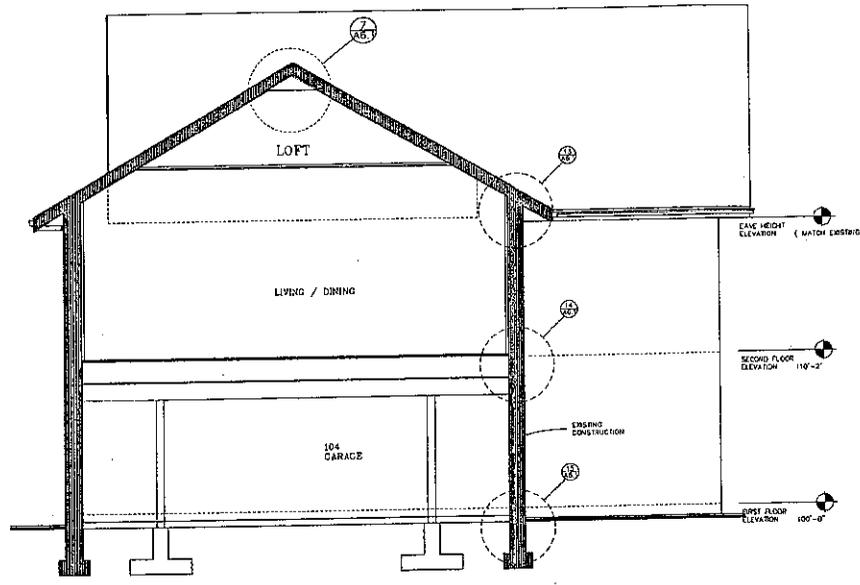
SUBSCRIBED AND SWORN
to before me this 30th day of

September, 2017

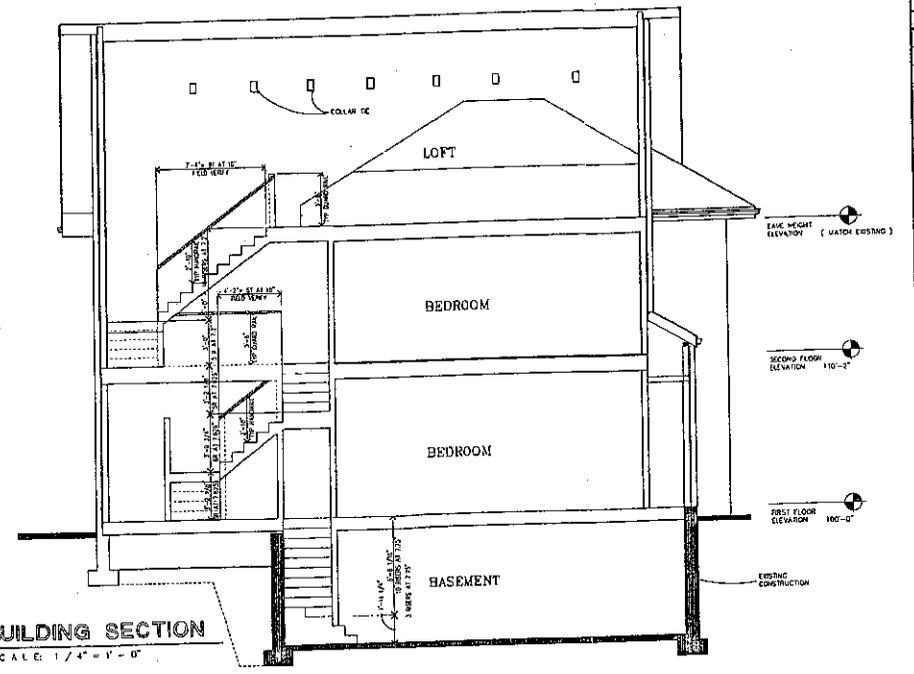
Julie K. Doherty

Notary Public

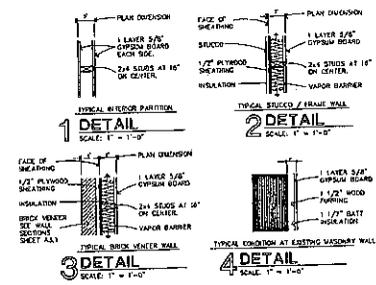




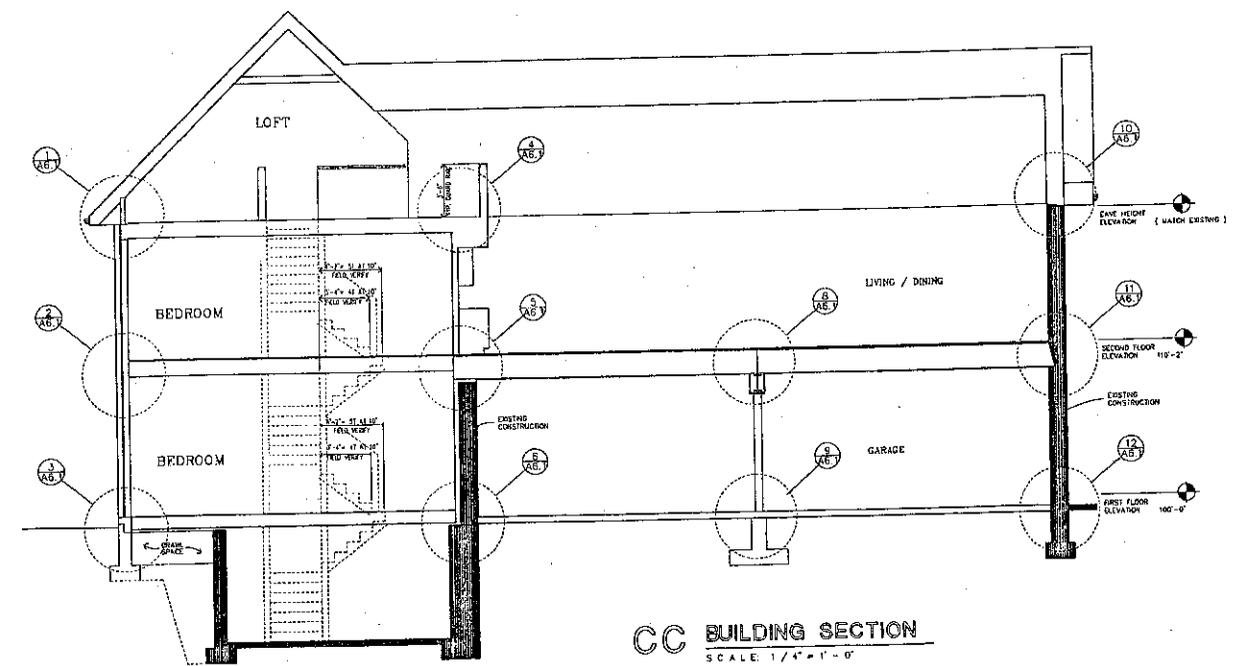
AA BUILDING SECTION
SCALE: 1/4" = 1'-0"



BB BUILDING SECTION
SCALE: 1/4" = 1'-0"



INSULATION SCHEDULE				
DESCRIPTION	BATT INSULATION	RIGID INSULATION	PLUM REQUIREMENTS	TOTAL ASSEMBLY
EXT BRICK WALLS				
BRICK VENEER WALLS	R-13			
ROOF ASSEMBLY	R-22			
FLOOR INSULATION OVER UNFINISHED SPACE	R-22			
FRAME WALL	R-13			



CC BUILDING SECTION
SCALE: 1/4" = 1'-0"

PROJECT NO.: 03117 DRAWN BY: MJK/RLR	
RECORD:	
2	06 DEC 93 REVISED FOR PERMITS
3	18 JAN 94 ISSUED FOR PERMITS
4	10 FEB 94 PERMITS RECEIVED

PROJECT
BUILDING ALTERATIONS
664 SOUTH OAK STREET, UNIONVILLE, ILLINOIS
MR. AND MRS. GREGG

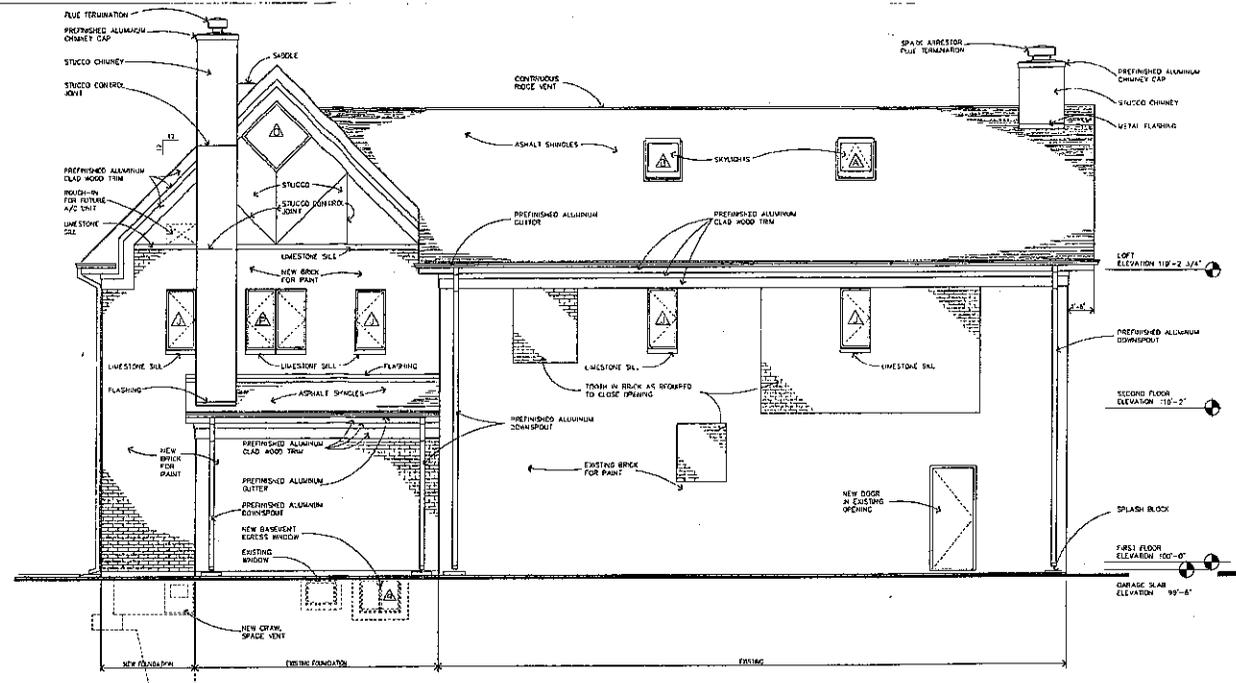
MICHAEL J. REALMUTO ARCHITECT
664 SOUTH OAK STREET, SUITE 201
UNIONVILLE, ILLINOIS 62450
TEL: 618/291-1888



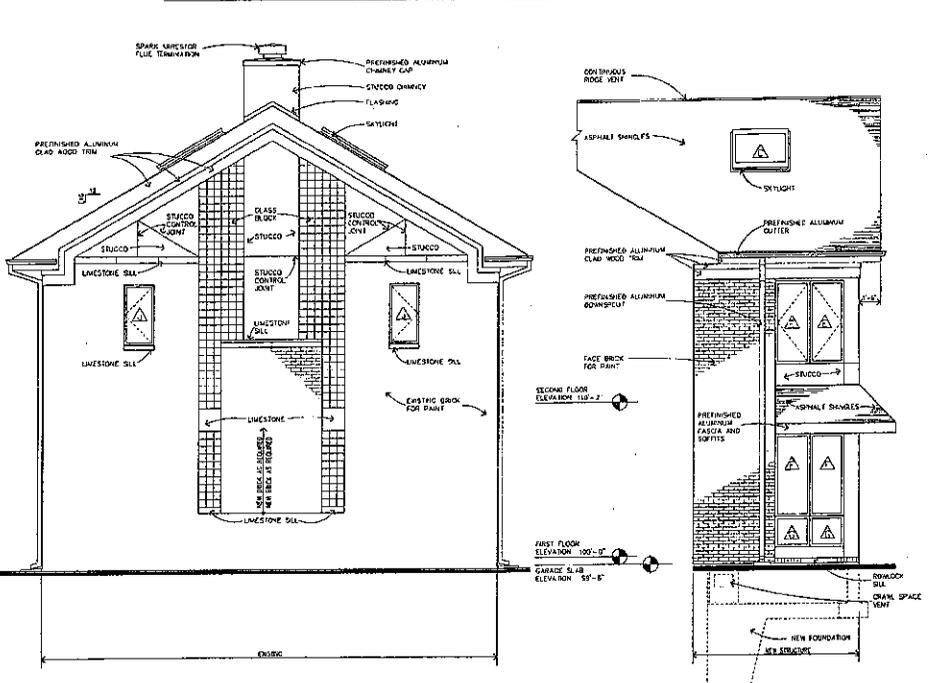
BUILDING SECTIONS

A5.1

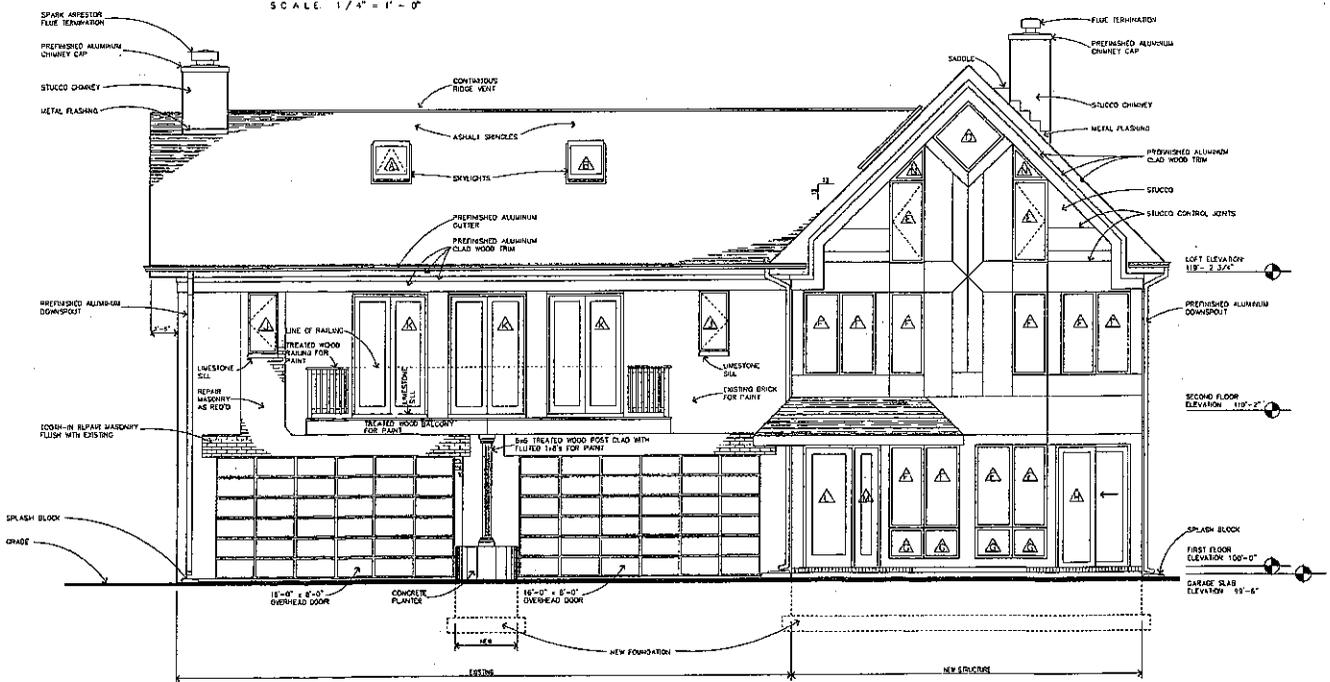
1994 PLANS



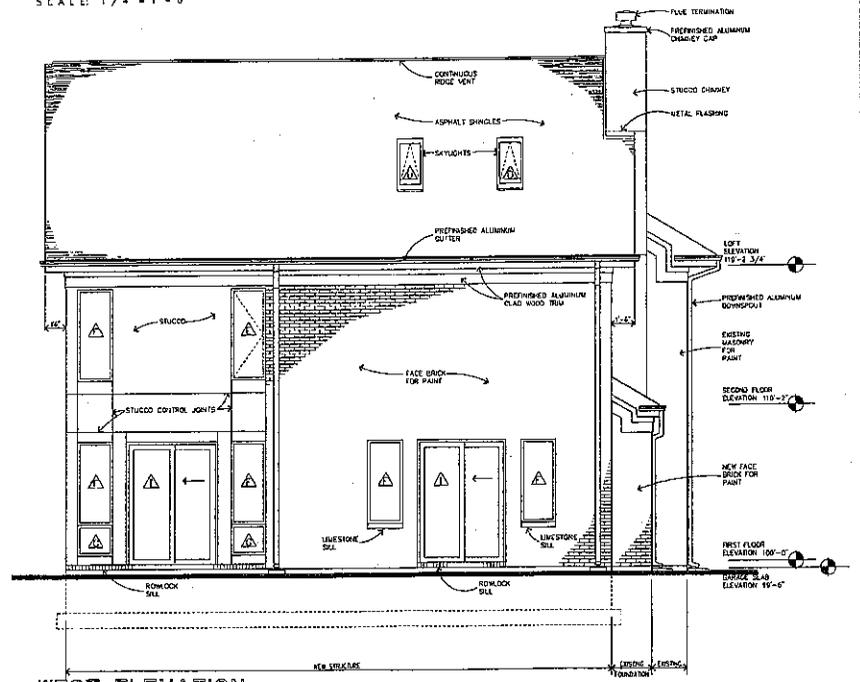
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION



WEST ELEVATION

PROJECT NO: 93817
DRAWN BY: MJR/RLR

RECORD:

1. FOR REV. 03
2. FOR REV. 03
3. FOR REV. 03
4. FOR REV. 03

PROJECT: **BUILDING ALTERATIONS**
504 SOUTH OAK STREET, BIRMINGHAM, ALABAMA

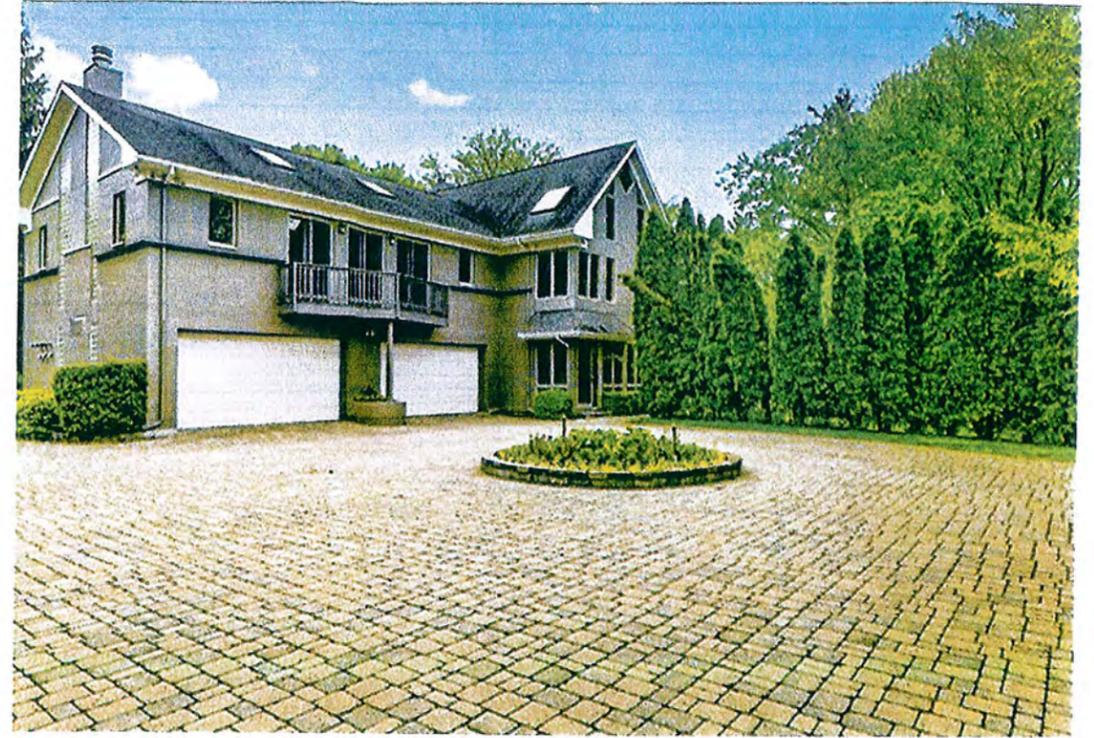
ARCHITECT: **MICHAEL J. REALMUTO ARCHITECT**
505 SOUTH OAK STREET, BIRMINGHAM, ALABAMA

DATE: 10/15/10

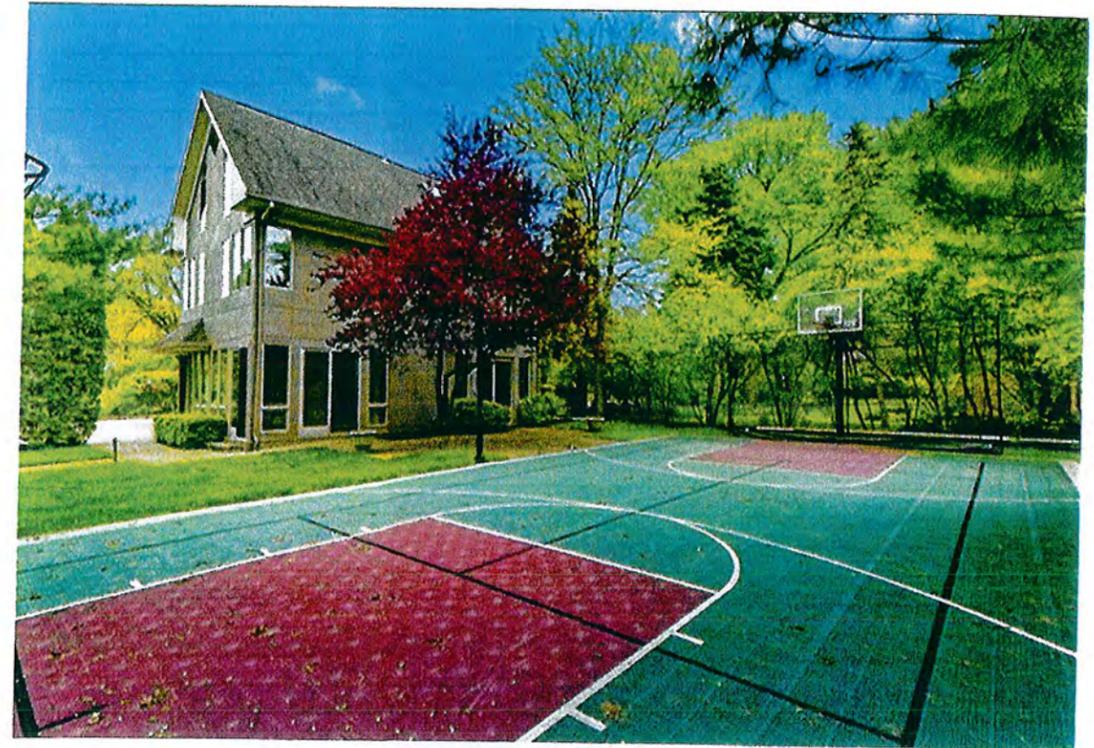
SCALE: 1/4" = 1'-0"

ELEVATIONS

A3.1



FRONT/SIDE VIEW: 504 S. OAK



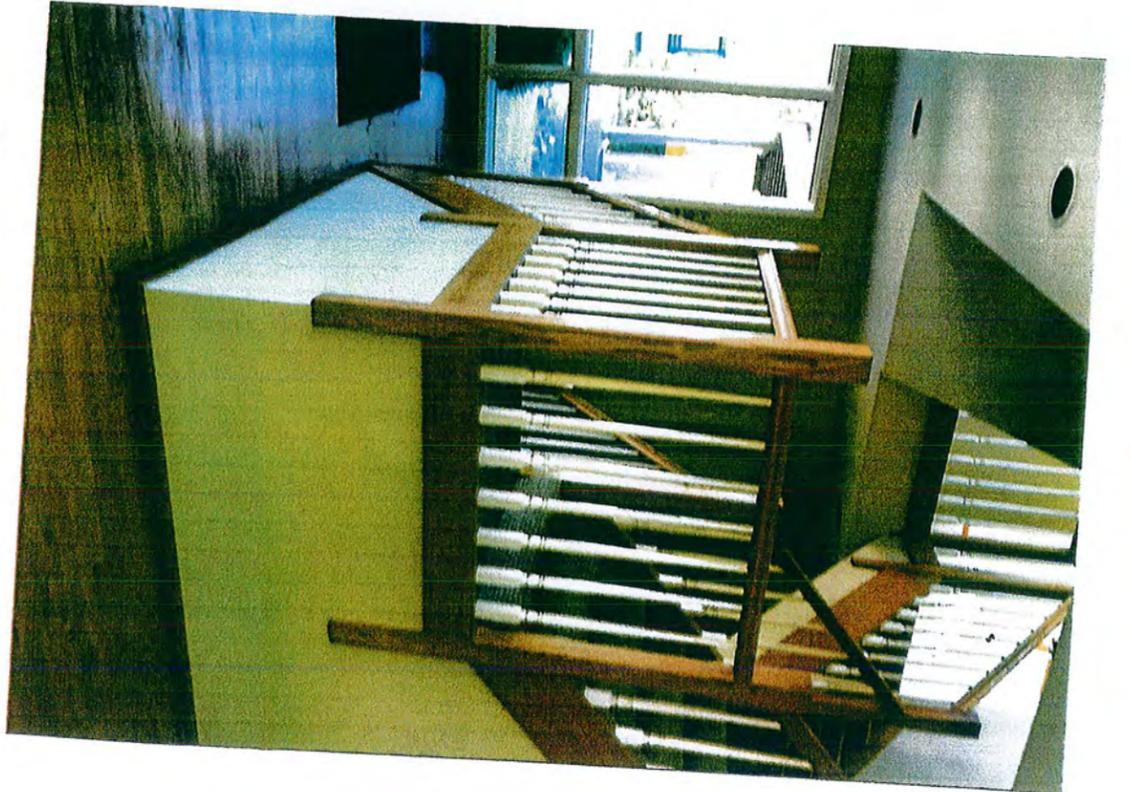
FROM BACKYARD/SPORTS COURT



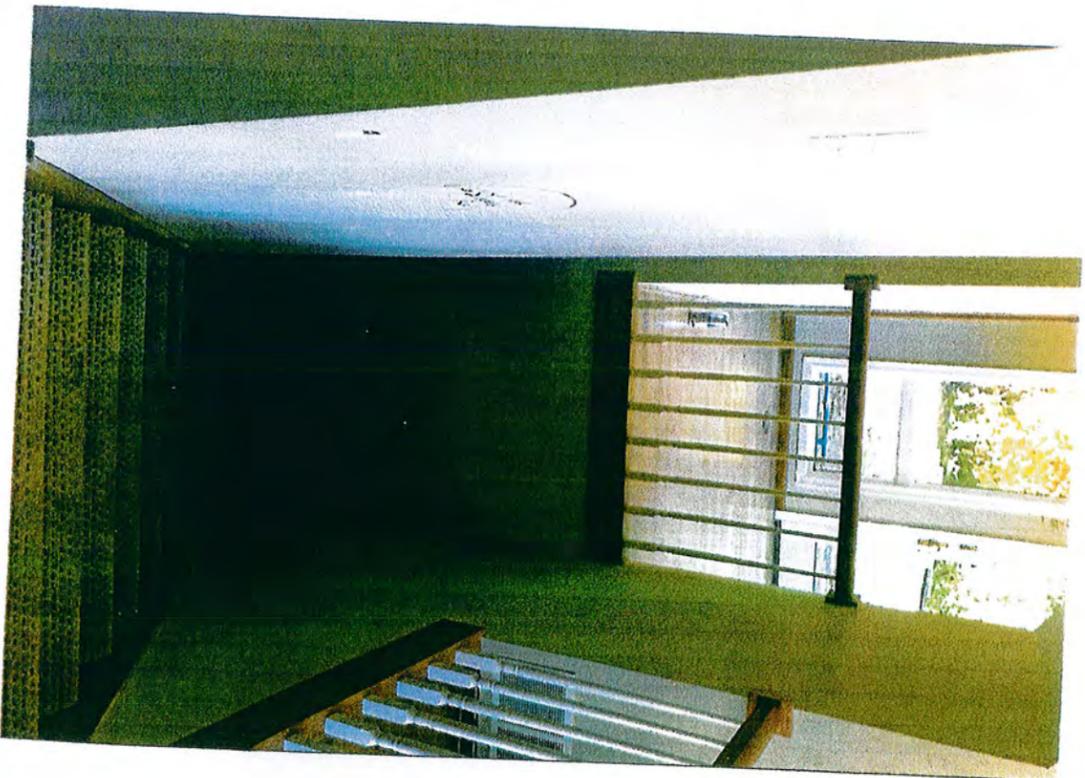
VIEW FROM OAK STREET
HOUSE FRONT



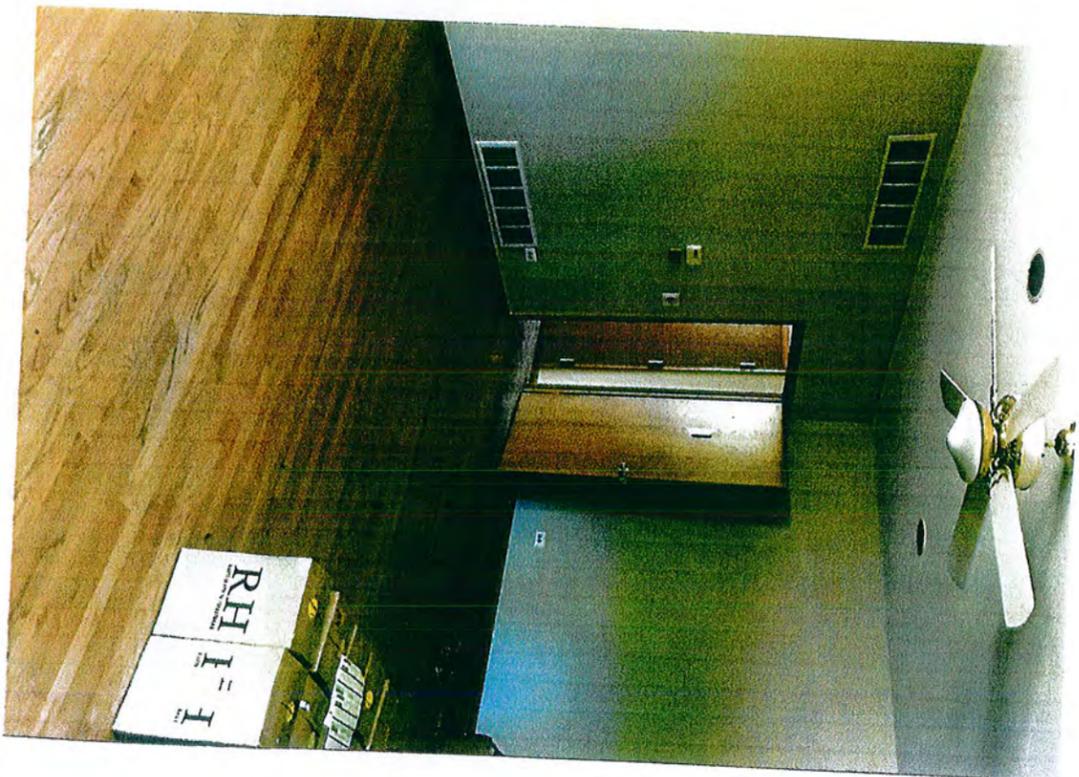
FIRST FLOOR



FIRST FLOOR - DOOR/HALL



STAIRS TO BSMT



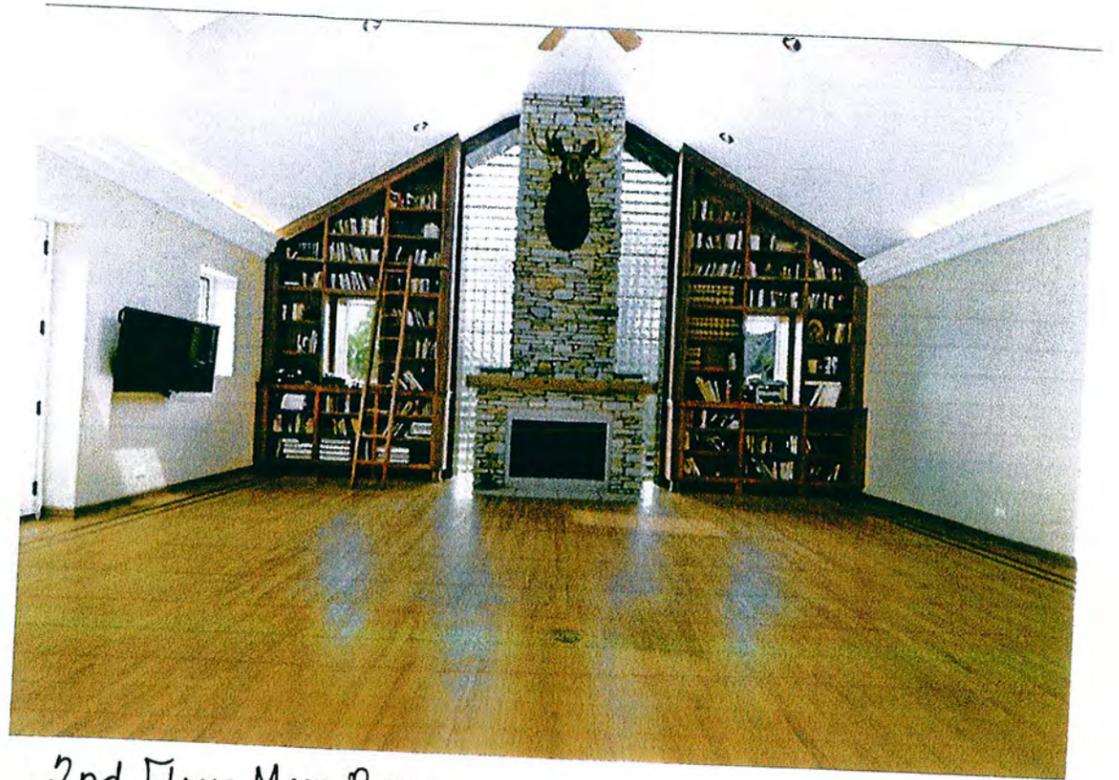
FIRST FLOOR BEDROOM



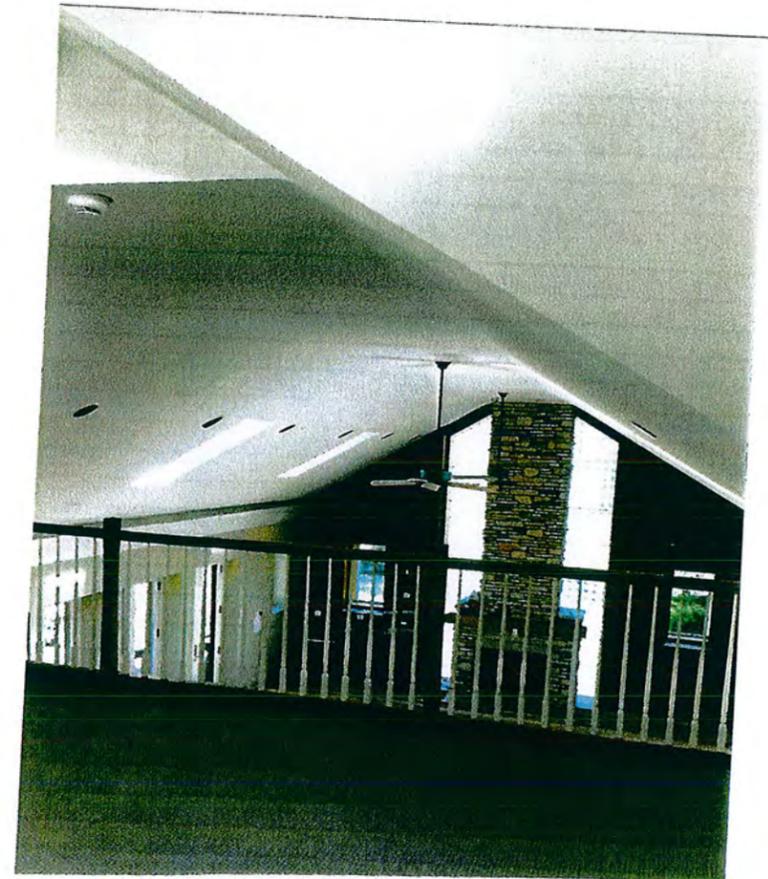
BATH ON FIRST FLOOR TO BEDROOM



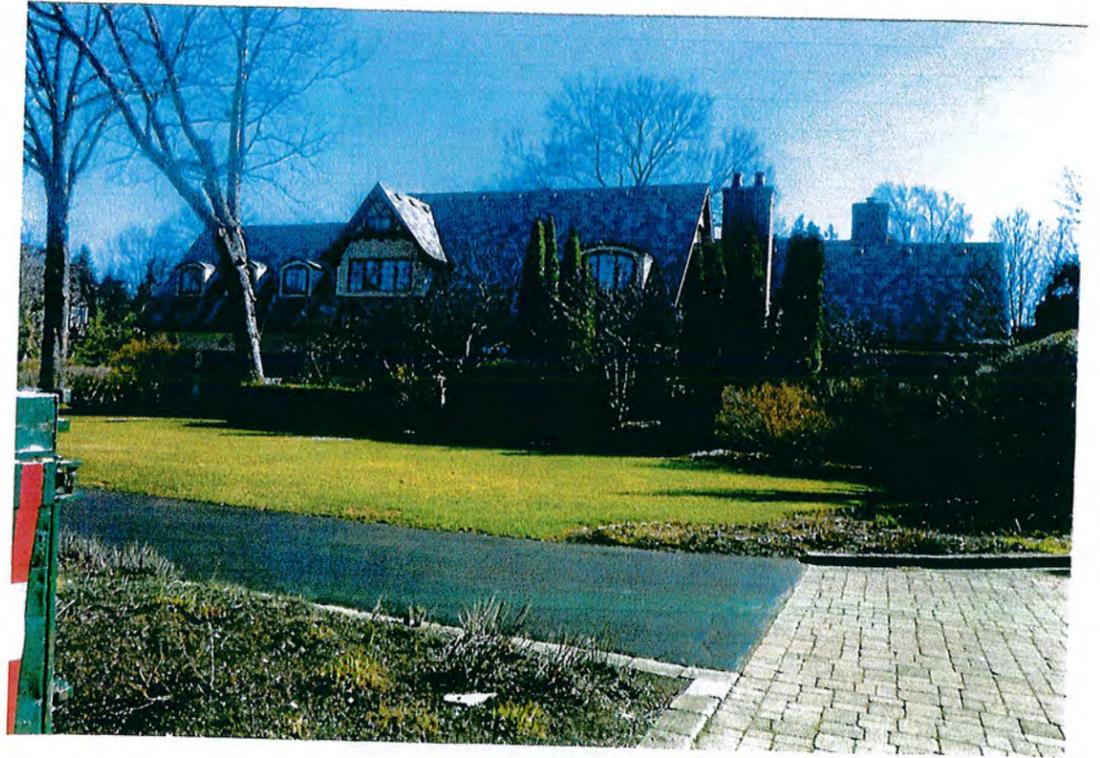
2nd FLOOR BEDROOM



2nd Floor Main Room



LOFT VIEW OF MAIN FLOOR



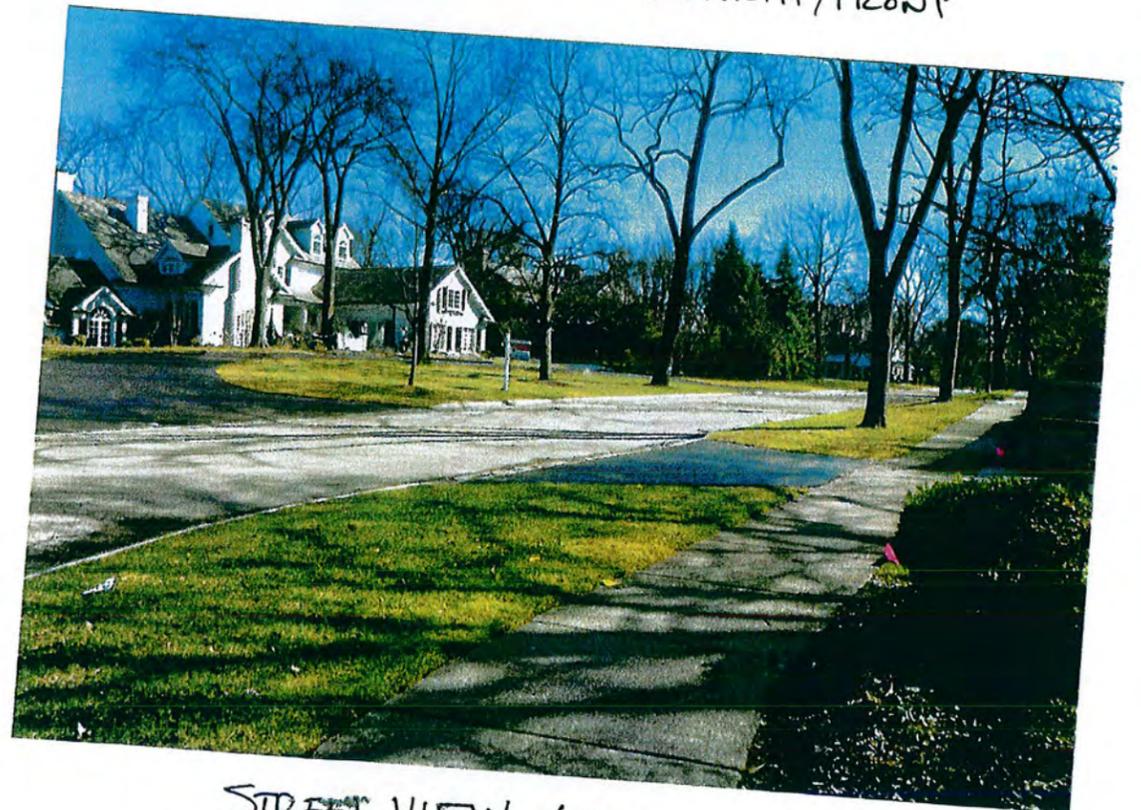
HOUSE TO SOUTH - 511 OAK



422 S. OAK
HOUSE TO NORTH

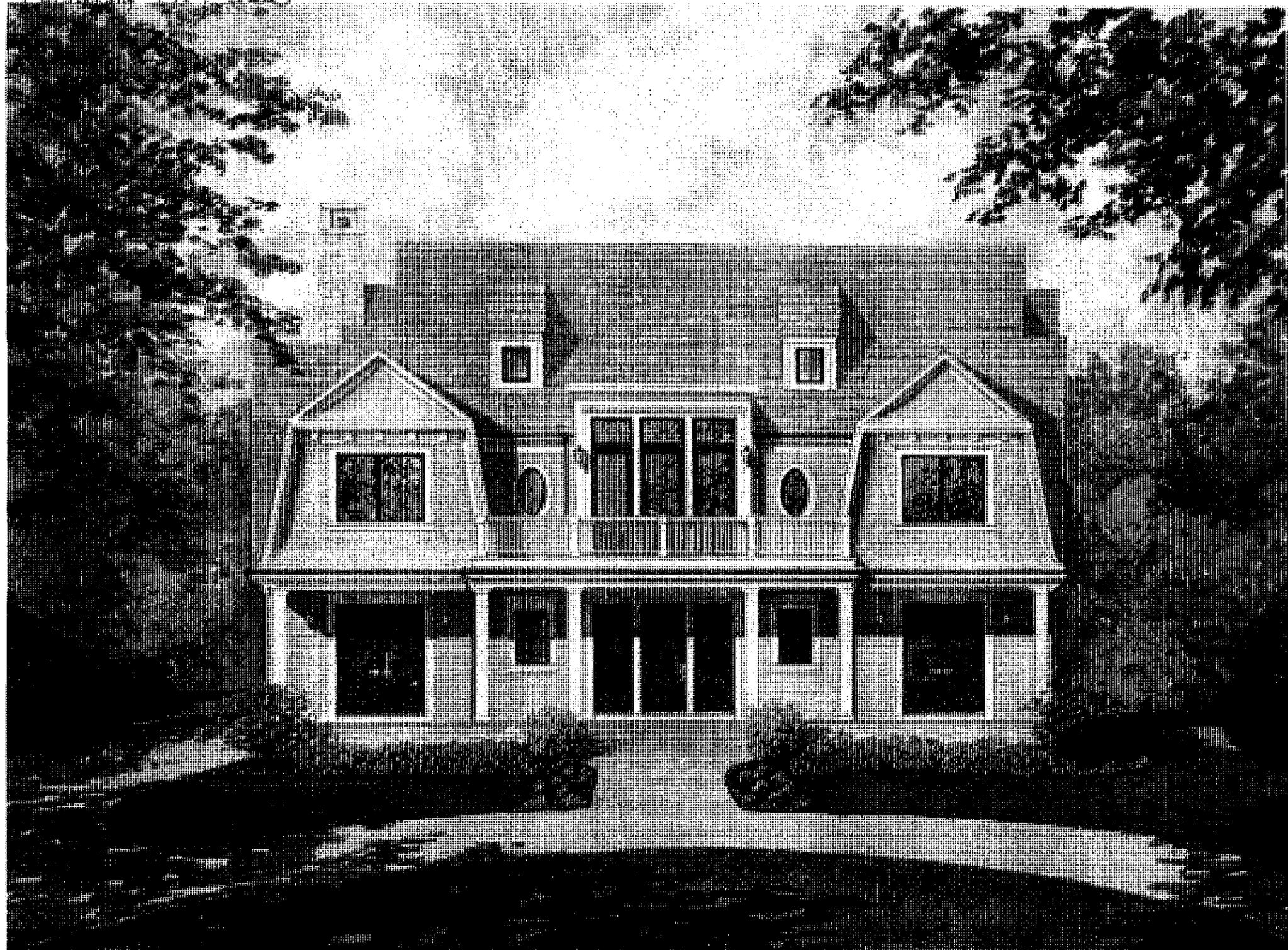


STREET VIEW
TO NORTH / FRONT



STREET VIEW (TO SOUTH & FRONT)

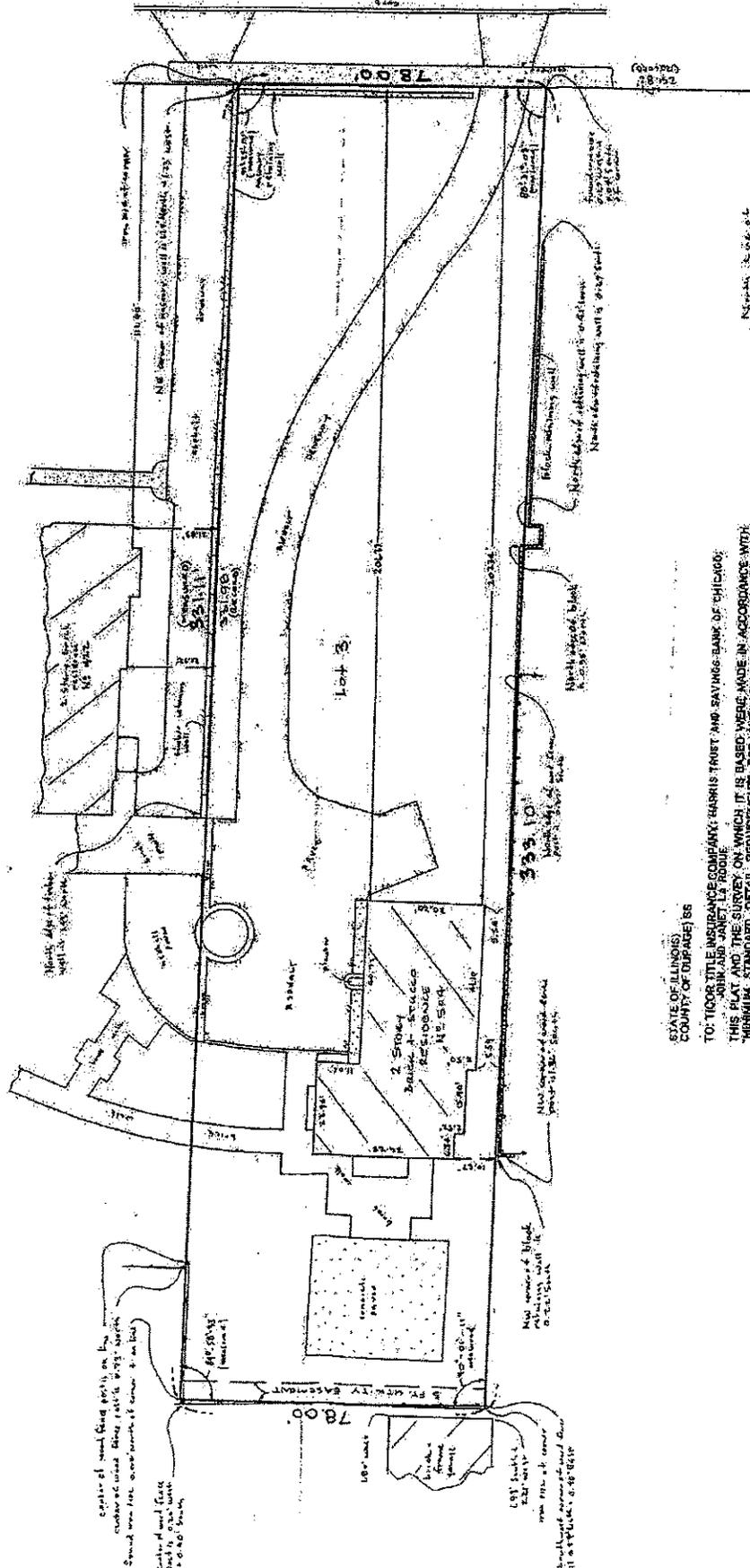
Flinders 54 Oct



Plat of Survey

ALTA/ACSM LAND TITLE SURVEY

LOT 3 IN HOWARD'S SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 16 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED, OCTOBER 27, 1943 AS DOCUMENT 185519 IN DE WALK COUNTY, ILLINOIS.



STATE OF ILLINOIS
COUNTY OF DUPAGE) 86

TO: TICOE TITLE INSURANCE COMPANY; HARRIS TRUST AND SAVINGS BANK OF CHICAGO;
THIS PLAT AND THE SURVEY THEREON, WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAILS REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, NSPS AND ACSM IN 1976 AND INCLUDE ITEMS 1, 7(A), 8, AND 10 OF TABLE A THEREOF. PURSUANT TO THE PROVISIONS OF THE ALTA/ACSM ADOPTED BY ALTA, NSPS AND ACSM AND IN EFFECT ON THE DATE OF THIS SURVEY, THE SURVEYOR HAS EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPATIBLE TO THOSE OBTAINED IN THE ANNUAL CHECK, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS.

DATE: September 27, 2001

Joseph M. DeCristo
ILLINOIS LAND SURVEYOR NO. 2498
ALTA/ACSM SURVEYOR
6710 SUTLIME DRIVE
HANSDALE, ILLINOIS 60143
630-780-0888



- NOTES:
- Check for easements, building lines and other restrictions.
 - Check legal descriptions against deed.
 - Scale hereon may be approximate in certain areas, do not scale from plat.
 - Compare all information shown before use.
 - Consult with surveyor prior to using this plat for any construction purposes.
 - Survey plat not valid unless embossed impression of Surveyor's seal is affixed hereto.

SITE GENERAL NOTES:

1. ALL LEGAL DESCRIPTION, PROPERTY LINE, BUILDING SETBACK, PUBLIC UTILITY, AND TOPOGRAPHIC TREE INFORMATION IS FURNISHED BY THE OWNER. THEREFOR, THE USE OF THE SITE PLAN BY THE OWNER OR CONTRACTOR SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING AND ARCHITECT. THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM NEGLIGENCE OF THE CONTRACTOR, SUBCONTRACTORS, BUILDER, SURVEYOR OR OWNER, OR FOR THEIR FAILURE TO COMPLY WITH AND ADHERE TO ALL APPLICABLE REQUIREMENTS. THE ARCHITECT IS NOT SUPERVISING THE STAKING OF THIS BUILDING.
2. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY NOTIFICATION / LOCATION SERVICE AT LEAST 48 HOURS BEFORE COMMENCING AND DIGGING WORK ON AREAS WITH UNDERGROUND UTILITY FACILITIES SO THAT ALL NECESSARY ON SITE STAKING OR MARKINGS CAN BE ACCOMPLISHED.
3. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROPERLY CONTROL EROSION ON THE JOB SITE THROUGH THE USE OF HAY BAILS, FILTER FABRICS OR OTHER MEASURES AS MAY BE REQUIRED. ALL SITUATIONS OF PIPELINES, STRUCTURES OR DITCHES SHALL BE CLEANED AND MAINTAINED BY THERE CONTRACTOR UNTIL SUCH TIME AS A FINAL OCCUPANCY PERMIT HAS BEEN OBTAINED. AFTER OCCUPANCY, THE ABOVE RESPONSIBILITIES SHALL SHIFT TO AND BE ASSUMED BY THE OWNER.
4. CONTRACTOR TO BE RESPONSIBLE FOR ENGINEERED EARTH RETENTION SYSTEM. DO NOT UNDERMINE OR IMPACT ADJACENT STRUCTURES.
5. DUE TO THE CLOSE PROXIMITY OF THE ADJACENT BUILDING SETBACK LINES, THE SERVICE OF A REGISTERED ILLINOIS LAND SURVEYOR IS RECOMMENDED. ADDITIONAL FIELD STAKING OF THE ACTUAL BUILDING SETBACK LINES SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR TO FACILITATE ALL PHASES OF THE CONSTRUCTION PROCESS.
6. ALL HARD IMPERVIOUS SURFACES TO SLOPE AWAY FROM THE HOUSE. NEW SERVICE WALKS 4" CONC. SLAB WITH 6 X 6 W.W.F. ON 4" OF COMPACTED CA-10 FILL CONSTRUCTION JOINTS AT 5 FT O.C. SLOPE 1/4" PER FT AWAY FROM HOUSE.
7. THE ADDRESS NUMBERS ON HOUSE SHALL CONTRAST WITH THE BACKGROUND AND BE A MINIMUM 4" HIGH WITH A MINIMUM 0.5 INCH. 2006 IRC R321.1 & 2006 IPMC 304.3.
8. PROVIDE PEDESTRIAN PROTECTION AT SITE TO MEET 2006 IBC AS REQUIRED BY THE VILLAGE. PROVIDE LOCKED CHAIN LINK FENCE AROUND SITE, REFERENCE CODE FOR ADDITIONAL ITEMS.

COMPLY WITH ALL LOCAL CODES AND ORDINANCES
 THE VILLAGE OF HINSDALE
 2006 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
 2014 ILLINOIS PLUMBING CODE
 ELECTRICAL 2005 NEC WITH AMENDMENTS
 2015 INTERNATIONAL ENERGY CONSERVATION CODE

DRAWING LEGEND

- A-1 TITLE SHEET & SITE PLAN
- A-2 PLAN NOTES & FIREPLACE SECTION
- A-3 BASEMENT PLAN
- A-4 FIRST FLOOR PLAN
- A-4.1 FIRST FLOOR FAR DIAGRAM
- A-5 SECOND FLOOR PLAN
- A-5.1 SECOND FLOOR FAR DIAGRAM
- A-6 ROOF PLAN
- A-7 EXTERIOR ELEVATIONS
- A-8 EXTERIOR ELEVATIONS
- A-9 EXTERIOR ELEVATIONS
- A-10 EXTERIOR ELEVATIONS
- A-11 SECTIONS & RADON MITIGATION DIAGRAM
- A-12 SECTIONS
- A-13 GENERAL NOTES
- P-1 PLUMBING
- ME-1 MECHANICAL/ELECTRICAL
- ME-2 MECHANICAL/ELECTRICAL
- ME-3 MECHANICAL/ELECTRICAL
- ME-4 MECHANICAL/ELECTRICAL

TOTAL FLOOR AREA	
3,630 SF	FIRST FLOOR
3,527 SF	SECOND FLOOR
7,157 SF	PROPOSED TOTAL BLDG. COVERAGE
TOTAL BLDG. LOT COVERAGE	
3,689 SF	HOUSE + GARAGE
417 SF	FRONT COVERED PORCH
4,106 SF	PROPOSED TOTAL BLDG. COVERAGE
TOTAL LOT COVERAGE 2017-0721	
4,106 SF	TOTAL BLDG. LOT COVERAGE
167 SF	FRONT WALK & STEP
3,228 SF	DRIVEWAY
484 SF	PATIO AND LANDING
19 SF	REAR EXTERIOR CHIMNEY
26 SF	AC PADS AND GENERATOR
20 SF	WINDOW WELLS
8,050 SF	PROPOSED TOTAL LOT COVERAGE

ZONING PROJECT DATA - HINSDALE, IL

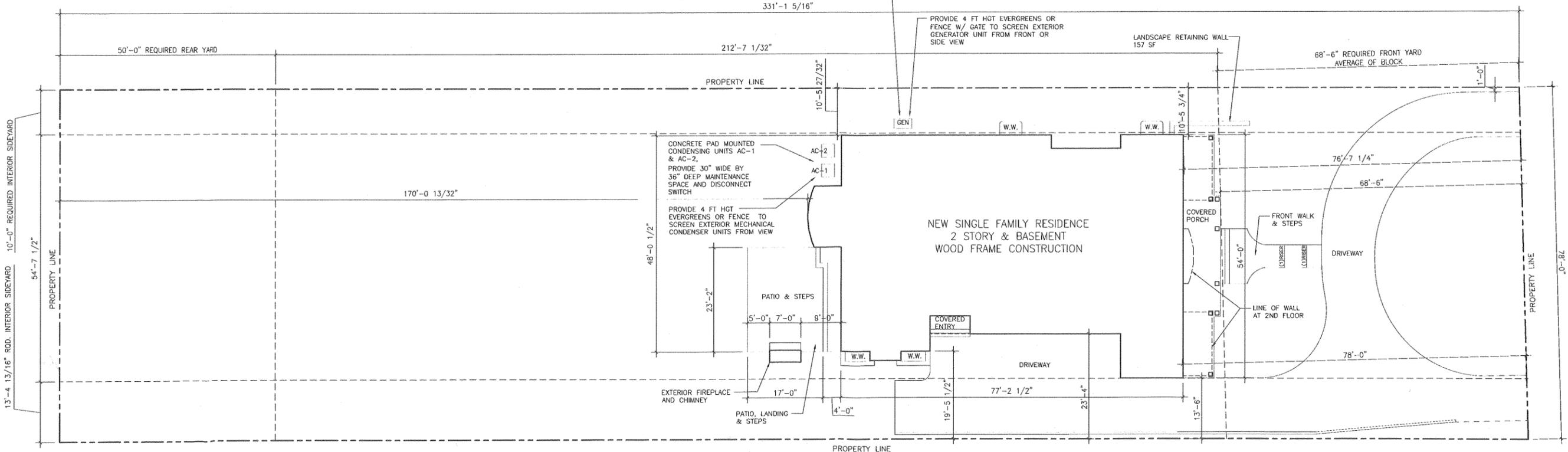
DESCRIPTION	REQUIRED / ALLOWED	ACTUAL
ZONING DISTRICT	R1	NON-CONFORMING
SPECIAL USE/P.D. REQUIREMENTS		
MINIMUM LOT SIZE	30,000 SF	78' X 331.98' = 25894 SF
MINIMUM LOT WIDTH	125 FT	78 FT
MINIMUM LOT DEPTH	125 FT	332.11 FT
SETBACK REQUIREMENTS		
FRONT YARD	AVG. OF BLOCK = 68.5 FT	76'-7 1/4"
SIDE YARDS		
INTERIOR SIDES MIN. TOTAL	30% OF LOT WIDTH, 78 FT x .3 = 23.4' FT	23'-11 3/4"
INTERIOR SIDE	10 FT OR 6 FT + 10% OF LOT WIDTH IN EXCESS OF 50 FT, WHICHEVER IS MORE = 10 FT	10'-5 3/4" 13'-6"
	FRONT PORCHES ALLOWED TO EXTEND 2 FT BEYOND SIDE YARD SETBACK WHEN LOCATED WITH THE REQUIRED FRONT YARD SET BACK	
REAR YARD	50 FT	170'-0 13/32"
MAX. FLOOR AREA	.20 X LOT SF + 2000 SF 5178.8 SF + 2000 SF = 7178.8 SF	7176 SF
FIRST FLOOR SF	100% SF	3639 SF
SECOND FLOOR SF	100% SF	3537 SF
ATTIC FLOOR SF	- IF LESS THAN 20% OF FLR BELOW INCLUDE 0% OF ATTIC AREA - IF LESS THAN 50% OF FLR BELOW & GREATER THAN 20% INCLUDE 50% OF ATTIC AREA - IF MORE THAN 50% OF FLR BELOW INCLUDE 100% OF ATTIC AREA	NA
DETACHED GARAGE SF (BONUS IF ONLY DETACHED)	FLR AREA BONUS, EXCLUDE 1/2 AREA OF GARAGE NOT MORE THAN 250 SF	NA
MAXIMUM BUILDING COVERAGE		
MAX. COMBINED TOTAL PRINCIPLE & ACCESSORY USE	25% OF LOT AREA = 6473.5 SF BLDG COVERAGE EXCEPTIONS 1. 1/4 OF FLR AREA FOR DETACHED GARAGE BUT NOT MORE THAN 125 SF 2. 1ST 200 SF OF COVERED PORCH ON FRONT OR CORNER SIDE	4106 SF
MAX. ACCESSORY USE	10% OF LOT AREA = 2589.4 SF	NA
MAXIMUM TOTAL LOT COVERAGE	50% OF LOT AREA = 12947 SF	8050 SF
MAXIMUM BUILDING HEIGHT	30 FT THE SMALLEST SIDE YARD PROVIDED OF 14 FT OR LESS VERTICAL DISTANCE MEASURED TO MEAN OF ROOF FROM AVG. GROUND ELEVATION PRIOR TO ANY RESHAPING AT 4 CORNERS OF PROPOSED STRUCTURE CLOSEST TO THE LOT LINES. LOWEST GRADE WITHIN 6 FT OF THE 4 CORNERS	25'-2 7/16"
MAXIMUM NUMBER OF STORIES	3 STORIES	2 STORIES
MAXIMUM ELEVATION	34.0 FT PLUS .75 FT FOR EVERY FOOT OF SIDE YARD PROVIDED IN EXCESS OF 6 FT NOT MORE THAN 14 FT BUT NOT TO EXCEED 40 FT. STARTING 1 FT ABOVE LOWEST TOP OF FOUNDATION VISIBLE ABOVE GRADE TO HIGHEST RIDGE. 34' + (.75)(4.47') = 37.35' (37'-4 1/4")	36'-4"
DRIVE WAY	20 FT OR 1/3 LOT WIDTH WHICHEVER IS LESS = 20 FT DRIVE AT CURB CAN BE 5 FT WIDER	16 FT
MAXIMUM WIDTH IN FRONT YARD (2 CURB CUTS ALLOWED ON LOTS 75 FT WIDE OR GREATER)		
DRIVE WAY SETBACK	1 FT OFF PROPERTY LINE	1 FT
GARAGE MAXIMUM HEIGHT	15 FT MEAN HGT. OF ROOF	NA
GARAGE PROXIMITY TO PRINCIPLE	10 FT MIN. DISTANCE	NA
GARAGE SETBACKS	IF LOCATED REAR 20% OF LOT	
SIDE SETBACK	2 FT	NA
REAR SETBACK	2 FT	NA

GENERATOR MUST BE 3 FT MIN. FROM LOT LINE & NO FARTHER THAN 5 FT FROM PRINCIPLE STRUCTURE AND 18" MIN. FROM WALL OF HOUSE AND 5'-0" FROM ANY OPERABLE OPENING (DOOR OR WINDOW).

SEPARATE GENERATOR PERMIT APPLICATION WITH UNIT CUT SHEET/SPECIFICATIONS TO BE PROVIDED PRIOR TO INSTALLATION

CONCRETE PAD MOUNTED BACK-UP GENERATOR, MEETING REQUIRED SIDE YARD SETBACK

INSTALL AND LOCATE GENERATOR PER MANUFACTURER SPECIFICATIONS.



1 SITE PLAN
 SCALE: NTS



ISSUE DATES:

DATE	ISSUED FOR REVIEW	ISSUED FOR PERMIT & CONSTRUCTION
03-24-2017	ISSUED FOR REVIEW	
08-13-2017	ISSUED FOR REVIEW	
07-10-2017	ISSUED FOR REVIEW	
07-28-2017	ISSUED FOR PERMIT & CONSTRUCTION	

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TITLE SHEET, SITE PLAN
SINGLE FAMILY RESIDENCE
 504 S. OAK ST.
 HINSDALE, ILLINOIS

SHEET NO.



ISSUE DATES:	DATE	REVISIONS
	03-24-2017	ISSUED FOR REVIEW
	06-13-2017	ISSUED FOR REVIEW
	07-10-2017	ISSUED FOR REVIEW
	07-28-2017	ISSUED FOR PERMIT & CONSTRUCTION

THE DESIGNER SPECIFIES AND IS RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORIC STRUCTURES AND MONUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHAEOLGICAL REMAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ANTHROPOLOGICAL REMAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GEOLOGICAL FORMATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SOILS AND VEGETATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WATERSHEDS AND WETLANDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AIR QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CLIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BIODIVERSITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ECOSYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SCENIC VALUES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL HERITAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORIC LANDSCAPES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORIC STRUCTURES AND MONUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHAEOLGICAL REMAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ANTHROPOLOGICAL REMAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GEOLOGICAL FORMATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SOILS AND VEGETATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WATERSHEDS AND WETLANDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AIR QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CLIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BIODIVERSITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ECOSYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SCENIC VALUES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL HERITAGE.

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PLAN NOTES & FIREPLACE SECTION
SINGLE FAMILY RESIDENCE
504 S. OAK ST.
HINSDALE, ILLINOIS

SHEET NO.

Attachment A-2

ROOF NOTES:

- ROOF SLOPES 4:12 AND OVER - PROVIDE 1 LAYER OF 15 LB. FELT ROOF UNDER-LAYMENT THROUGH OUT, WITH AN APPROVED SELF-ADHERED ICE AND WATER SHIELD MEMBRANE EXTENDING MINIMALLY FROM EDGE OF EAVE TO A LINE 24" HORIZONTALLY FROM INTERIOR FACE OF EXTERIOR WALL.
- ROOF SLOPES 2:12 TO LESS THAN 4:12 - PROVIDE AN APPROVED SELF-ADHERED ICE & WATER SHIELD MEMBRANE ROOF UNDER-LAYMENT THROUGHOUT.
- ALL VALLEYS MIN. 4FT WIDE & ALL EAVES EXTENDING MINIMALLY FROM EDGE OF EAVE TO A LINE 24" HORIZONTALLY FROM INTERIOR FACE OF EXTERIOR WALL. FLASH WITH W.R. GRACE ICE AND WATER SHIELD, TYPICAL
- THE DESIGN OF THIS HOME FEATURES EXTENSIVE USE OF OFFSET FASCIA LINES AND LONG ROOF SADDLES. AS A RESULT, CAREFUL ATTENTION TO FLASHING AND FELTING IS CRITICAL. IN ADDITION TO THE VALLEY ITSELF BEING FULLY FLASHED, FLASHING MUST EXTEND TO ADJACENT WALLS AND FASCIAS AS REQUIRED AS TO PREVENT SNOW AND ICE BUILD UP FROM CAUSING LEAKS THROUGH AREAS WHICH, AT FIRST GLANCE, WOULD NOT BE CONSIDERED PART OF THE ROOF FLASHING SYSTEM. UNABLE TO BE ARCHITECTURALLY DETAILED IN EACH AND EVERY INSTANCE ONLY PROPER MATERIALS, CAREFUL WORKMANSHIP AND THOROUGH SUPERVISION WILL SUFFICE.
- ALL ATTIC SPACES TO BE VENTILATED WITH A COMBINATION OF HIGH AND LOW VENTING DEVICES IN QUANTITIES SUFFICIENT TO COMPLY WITH THE 1/300 CODE REQUIREMENT
- EAVE BAFFLES: FOR AIR PERMEABLE INSULATIONS IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. PROVIDE ROOF INSULATION BAFFLES AT EAVES TO ALLOW FOR AIR FLOW.
- PROVIDE COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODE, 2006, CHAPTER 9 FOR USE OF SHINGLES AND COVERINGS FOR ROOF.
- ALL VENT PENETRATION TO TERMINATE AT REAR OF ROOF.
- DRAIN TILE SUMP AND ROOF DRAINS TO SPLASH WITHIN 5FT OF BUILDINGS.
- REFER GENERAL NOTE SHEET FOR ADDITIONAL NOTES AND SPECIFICATIONS PERTAINING TO THE ROOF.
- PROVIDE 2x6 COLLAR TIES @ 32" O.C. U.O.N.
- PROVIDE RAFTER TIE-DOWNS REQUIRED PER SECTION R802.11. WIND UPLIFT CLIPS ARE REQUIRED PER CODE FOR RAFTER TO WALL CONNECTIONS WHERE THE ROOF RAFTER DOES NOT INTERSECT & IS NOT FASTENED TO THE CEILING JOIST AT THE TOP WALL PLATE CONNECTION. A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO TRANSMIT THE UPLIFT FORCES FROM THE RAFTER TIES TO THE FOUNDATION.
- AFTER USING THE RAFTER, HIP, VALLEY AND RIDGE SIZES INDICATED, THE CARPENTER SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT LAYOUT, DESIGN, BRACING, PROPPING, FRAMING AND CONSTRUCTION TECHNIQUES TO BE EMPLOYED IN RELATION TO THE CONSTRUCTION OF THE ROOF.
- ALL TEMPORARY & NEW POSTS, KING POSTS, PROPS, BRACES, ETC. WITHIN THE ATTIC SPACE USED TO SUPPORT OR BRACE RIDGES OR VALLEYS OF ROOF STRUCTURE MUST BEAR DIRECTLY ON LOAD BEARING WALLS AND POSTS OR INTENDED BEAMS TO TRANSFER TO FOUNDATION. APPLYING ROOF LOADS ONTO NON-LOAD BEARING WALLS OR ONTO CEILING JOISTS SHALL BE PROHIBITED.
- ALL HIP JACK RAFTERS MUST BE FRAMED INTO VALLEY RAFTERS OR BEAR DIRECTLY ON BEARING WALL LOCATIONS BELOW (IF ANY).
- IN SLOPING CEILING JOIST SITUATIONS, EXTEND CEILING JOIST TO FRAME INTO ROOF RAFTER ON OPPOSITE SIDE WHENEVER POSSIBLE TO CREATE TRUSS ACTION. PROVIDE 2X NAILING BLOCK AT INTERSECTION OF SLOPING CEILING JOIST.
- PROVIDE FURRING BELOW RAFTERS FOR PROPER DEPTH OF INSULATION AND AIR CAVITY WITH BAFFLE, TYP. AT CEILINGS WITH ROOF ABOVE.
- PROVIDE FLASHINGS PER INDUSTRY STANDARDS AND INTEGRATED WITH WATER DRAINAGE PLAIN AND PROPER SEQUENCE OF CONSTRUCTION.
- DOWNSPOUTS AND GUTTERS TO BE INSTALLED PER INDUSTRY STANDARD. SIZE OF GUTTERS AND SIZE, NUMBER AND LOCATIONS OF DOWNSPOUTS TO BE VERIFIED AND DETERMINED BY INSTALLER FOR PROPER WATER MANAGEMENT AND PERFORMANCE.
- ROOF OVERHANG, FASCIA & EAVE ALIGNMENT - MORE THAN ONE ROOF PITCH IS BEING USED ON THIS PROJECT, ADJUST THE RAFTER TAIL DIMENSIONS & PROVIDE BLOCKING AT TOP WALL TO COORDINATE ALIGNMENT OF FASCIA & EAVE BOARDS. THE DESIGN INTENT IS FOR ALL FASCIAS & EAVES TO ALIGN AS SHOWN. (SEE TYPICAL WALL SECTION FOR TYPICAL OVERHANG INFORMATION).

DESIGN CRITERIA		
FLOOR	= 40# L.L. 20# D.L.	OTHER THAN SLEEPING RMS.
WALL	= 20# P.S.F.	OR ACTUAL LOAD
WALL	= 60# P.L.F.	OR ACTUAL LOAD
CEILING	= 20# L.L. 10# D.L.	ROOF SLOPES OVER 3" IN 12"
ROOF	= 30# L.L. 15# D.L.	ALL SLOPES
CATHEDRAL	= 30# L.L. 15# D.L.	ALL SLOPES
EXT. DECK	= 40# L.L. 20# D.L.	EXTERIOR
BALCONY	= 60# L.L. 10# D.L.	EXTERIOR
LATERAL LOAD (WIND)	= 20# P.S.F. MAIN WIND FORCE RESISTING SYSTEM	
	= 25# P.S.F. AT CORNER & CLADDING COMPONENTS	
	= 90 MPH WIND	
INT. STAIRS	= 40# L.L. 10# D.L.	INTERIOR

STRUCTURAL FRAMING LUMBER
FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS
IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
GRADE # S.P.F. #2 OR BETTER (N.L.G.A.), U.N.O. CROSS BRIDGE WITH MAXIMUM SPECIES CANADIAN SPACING OF 8 FT O.C. FOR CANADIAN BASE E=1.4 x 10⁶
FLOOR LOADS ARE DESIGNED FOR 40# L.L. & 20# D.L. FLOORS ARE NOT DESIGNED FOR THICKER THAN 3/8" INTERIOR STONE. PRIOR TO INSTALL, ALL STONE SHOULD BE REVIEWED FOR DEFLECTION REQUIREMENTS BY CONTRACTOR FOR STONE INDUSTRY STANDARD REQUIREMENTS.

- FLOOR FRAMING INDICATED ON THIS SHEET IS MEANT TO BE DIAGRAMMATIC ONLY. EXACT JOIST COUNT AND LOCATIONS TO BE DETERMINED IN THE FIELD OR BY JOIST MANUFACTURER OR SHOP DRAWINGS.
- ALL CRIPPLES AND POSTS SUPPORTING BEAMS, HEADERS, CONCENTRATED LOADS, ETC. SHALL BE FULL WIDTH OF MEMBER SUPPORTED AND SHALL BE CONTINUOUS DOWN TO TOP / STEEL BEAM OR TOP / FOUNDATION WALL.
- DOUBLE UP FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS AND BATH TUBS.
- FLOOR LOADS ARE DESIGNED FOR 40# L.L. & 20# D.L. FLOORS ARE NOT DESIGNED FOR THICKER THAN 3/8" INTERIOR STONE. PRIOR TO INSTALL, ALL STONE SHOULD BE REVIEWED FOR DEFLECTION REQUIREMENTS BY CONTRACTOR FOR STONE INDUSTRY STANDARD REQUIREMENTS.
- ALL CORNERS TO HAVE A MIN. OF THREE STUDS.
- ALL WINDOW & EXTERIOR DOOR HEADERS TO BE (3) 2"x12"s W/ 1/2" PLYWOOD. FLITCH W/ (3) 2"x6" POST AT EACH END, UNLESS NOTED OTHERWISE ALL HEADERS SPANNING OPENINGS ABOVE DOORS, WINDOWS, ETC. SHALL BE THE TYPE, SIZE AND QUANTITY INDICATED ON THE PLAN WHERE NOT INDICATED ON THE PLAN, EACH HEADER SHALL BE S.P.F. #2 OR BETTER (N.L.G.A.) MATERIAL AS FOLLOWS:
- 2" x 4" WALLS (2) 2" x 12" WITH 1/2" PLYWOOD
- 2" x 6" WALLS (3) 2" x 12" WITH 1/2" PLYWOOD
- ALL HEADERS SHALL BE DROPPED BELOW THE FRAMING BEING SUPPORTED UNLESS NOTED OTHERWISE ON THE PLANS.
- HEADERS AND GIRDERS FOR EXTERIOR WALLS SHALL BE PROVIDED PER THE REQUIREMENTS OF 2006 INTERNATIONAL RESIDENTIAL CODE.
- WALL BRACING SHALL BE PROVIDED PER THE REQUIREMENTS OF 2006 INTERNATIONAL RESIDENTIAL CODE, SECTION R600, AND PROVIDE NAILING PATTERN PER IRC FOR WOOD STRUCTURAL PANEL SHEATHING AT ALL CORNERS 48" MIN. AT EXTERIOR WALLS.
- PROVIDE 3/4" PLYWOOD SHEATHING THROUGHOUT EXTERIOR.
- WHERE LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) HEADERS HAVE BEEN INDICATED, IT SHALL BE CLEARLY UNDERSTOOD THAT ABSOLUTELY NO SUBSTITUTIONS SHALL BE PERMITTED.
- ALL WOOD CUTTING AND NOTCHING TO FOLLOW 2006 INTERNATIONAL RESIDENTIAL CODE, REFERENCE GENERAL NOTES SHEET, SECTION "ROUGH CARPENTRY" FOR ADDITIONAL INFORMATION & REQUIREMENTS.
- ALL PENETRATIONS BETWEEN LEVELS AND ROOF SPACE AS WALLS AS SOFFITS, DROPPED CEILINGS, CHIMNEYS, FIREPLACES, ETC. SHALL BE FIRESTOPPED PER 2006 INTERNATIONAL RESIDENTIAL CODE SECTIONS R602.8, R1003.19, & R1001.12.
- ALL WOOD CUTTING AND NOTCHING TO FOLLOW 2006 INTERNATIONAL RESIDENTIAL CODE, SECTION R600. WHEN CUTTING OF WALL PLATES EXCEEDS 1/2, REINFORCE WALL WITH 24 GA. METAL ANGLES.
- PROVIDE PRESURE PRESERVATIVE TREATED WOOD, WOLMANIZED, MATERIAL AT ALL LOCATIONS WHERE WOOD CARPENTER FRAMING COMES IN CONTACT WITH CONCRETE.
- ALL FASTENERS AND CONNECTORS IN CONTACT WITH TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, SILICON BRONZE, STAINLESS, OR EQUAL IN CORROSION RESISTANCE. THIS APPLIES TO ALL ITEMS LESS THAN 1/2" IN THICKNESS OR DIAMETER (INCLUDING NAILS AND SCREWS).
- WIND UPLIFT CLIPS ARE REQUIRED PER CODE FOR RAFTER TO WALL CONNECTIONS WHERE THE ROOF RAFTER DOES NOT INTERSECT & IS NOT FASTENED TO THE CEILING JOIST AT THE TOP WALL PLATE CONNECTION. A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO TRANSMIT THE UPLIFT FORCES FROM THE RAFTER TIES TO THE FOUNDATION.
- PROVIDE 2X12 @ 24" O.C. LADDER FRAMING WHERE JOISTS RUN PARALLEL TO FOUNDATION WALL, PER CODE.
- REFER TO SHEET A-12 FOR ADDITIONAL NOTES PERTAINING TO THE FOUNDATION.

STAIR AND HANDRAIL/GUARDRAIL NOTES:

- RISER HEIGHT NOT TO EXCEED 7 3/4" OF RISE.
- TREAD WIDTH NOT TO BE LESS THEN 10" NOSE TO NOSE.
- MINIMUM HEAD ROOM OF 6'-8" VERT. FROM TREAD NOSE.
- THE RADIUS AT THE NOSING SHALL BE NO GREATER THAN 9/16". NOSING TO BE 3/4" TO 1 1/4" ON STAIRWAYS WITH SOLID RISERS. THERE SHALL BE NO GREATER THAN 3/8" VARIATION BETWEEN NOSING LENGTHS BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2".
- STAIR WINDER TREADS SHALL HAVE A MIN. TREAD DEPTH OF 6" AT ANY POINT & SHOULD HAVE A MIN. TREAD DEPTH OF 10" MEASURED AS ABOVE AT A POINT 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER.
- ALL HANDRAILS TO BE CONTINUOUS AND MAINTAIN A HEIGHT OF 34" TO 38" A.F.F. & GUARDRAIL 36" A.F.F.
- HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01"
- BALLUSTERS OR ORNAMENTAL CLOSURES MUST BE OF A DESIGN, WHICH WILL NOT ALLOW A 4" SPHERE TO PASS THROUGH, HORIZONTAL RAILS OR OTHER PATTERNS WITH A LADDER EFFECT ARE NOT PERMITTED.
- DESIGN TO RESIST A VERTICAL & HORIZONTAL THRUST OF 50 LBS./ FT APPLIED AT TOP OF RAILING OR A CONCENTRATED LOAD OF 200 LBS. IN ANY DIRECTION.
- PROVIDE AT LEAST ONE CONTINUOUS, GRASPABLE HANDRAIL 1 1/4" TO 2" AT EACH CONTINUOUS RUN OF TREADS WITH (4) FOUR OR MORE RISERS AT INTERIOR AND EXTERIOR. RETURN END OF HANDRAILS TO WALL OR NEWEL POST, MINIMUM CLEARANCE OF 1 1/2" BETWEEN WALL AND HANDRAIL IS REQUIRED.
- PROVIDE GUARDRAILS REQUIRED FOR INTERIOR AND EXTERIOR SURFACES 30" OR MORE ABOVE FLOOR. PORCHES, BALCONIES, DECKS OR EXTERIOR RAISED FLOOR SURFACES 8 FEET OR MORE ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE A 36" HIGH GUARDRAIL, FOR A SINGLE FAMILY RESIDENCE.
- UNDER-STAIR PROTECTION & ENCLOSED SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" GYP. BD. & FIRE STOPPED

MECHANICAL/PLUMBING NOTES:

- ALL EQUIPMENT AND APPLIANCES, INCLUDING THE AIR CONDITIONERS, WATER HEATERS, AND FURNACES, SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURERS' INSTALLATION INSTRUCTIONS. A COPY OF THE MANUFACTURERS' INSTALLATION INSTRUCTIONS MUST BE PROVIDED ON SITE FOR EACH INSPECTION.
- FIREPLACES TO HAVE AN APPROVED DAMPER, A NON COMBUSTIBLE HEARTH 20" IN FRONT & 12" ON SIDES OF OPENING; MIN. 2" CLEARANCE FROM COMBUSTIBLE CONSTRUCTION; FIREPLACE SHALL CONFORM TO LOCALLY ADOPTED CODES AND AMENDMENTS.
- WATER, SOIL, AND WASTE PIPES SHALL NOT BE INSTALLED OUTSIDE OF BUILDING, IN ATTICS OR CRAWL SPACES, CONCEALED IN OUTSIDE WALLS, OR IN ANY OTHER PLACE SUBJECT TO FREEZING TEMPERATURE UNLESS ADOQUATE PROVISIONS IS

FOUNDATION NOTES:

- ALL COLUMN AND WALL FOOTINGS SHALL BEAR UPON EITHER UNDISTURBED SOIL OR UPON COMPACTED CLAY OR GRANULAR MATERIAL. STEP FOOTING/FOUNDATION DOWN TO UNDISTURBED SOIL AT OVER DIG. WHENEVER PENETROMETER TESTS INDICATE THAT THE MATERIAL ENCOUNTERED AT ELEVATIONS SHOWN ON THE DRAWINGS IS LESS THAN PRESUMED SOIL BEARING CAPACITY OF 1500 PSF OR BE OTHERWISE UNSUITABLE, THE OWNER OR THE OWNER'S SOILS ENGINEER SHALL GIVE THE CONTRACTOR INSTRUCTIONS REGARDING WHAT CORRECTIVE ACTIONS ARE TO BE TAKEN TO COMPENSATE FOR THE POORER SOILS.
- UNDER NO CIRCUMSTANCES SHALL FOOTINGS BE PLACED SUCH THAT LESS THAN 48" OF FROST PROTECTION IS PROVIDED.
- MASONRY FOUNDATION WALLS, PORCHES, EXTERIOR SLABS, STAIRS, AND GARAGE FLOOR REQUIRE CONCRETE TO BE AIR ENTRAINED. TOTAL AIR CONTENT SHALL NOT BE LESS THAN 5% OR MORE THAN 7%.
- FOUNDATION WALLS ARE TO BE A MINIMUM OF 10" THICK, U.N.O.
- FIREPLACE FOOTINGS ARE TO BE A MINIMUM OF 12" DEEP, AND ATLEAST 6" BEYOND EACH SIDE OF THE EXTERIOR DIMENSIONS OF THE CHIMNEY.
- ALL FOUNDATION WALLS TO BE REINFORCED WITH (2) #5 STEEL REBARS TOP, BOTTOM, & MIDDLE (CONTINUOUS) TO BE BENT AND LAPPED AS DETAILED OR SPECIFIED. MIDDLE BARS ONLY REQUIRED WHEN POUR IS MORE THAN 9 FT DEEP, AND WALL LENGTH IS MORE THAN 6 FT. U.O.N.
- WINDOW OPENINGS IN FOUNDATION WALL TO HAVE (2) #5 STEEL REBARS HORIZ. TOP AND BOTTOM RUN 3 FT PAST OPENING, AND (2) #5 STEEL REBARS VERT. AT EACH SIDE RUN 18" PAST OPENING.
- PROVIDE PRESURE PRESERVATIVE TREATED WOOD, WOLMANIZED, MATERIAL AT ALL LOCATIONS WHERE WOOD CARPENTER FRAMING COMES IN CONTACT WITH CONCRETE.
- CONTINUOUS TREATED WOOD SILL PLATE ON TOP OF FOUNDATION WALLS SHALL BE LEVELED, PROVIDE SILL SEALER AND ANCHOR WITH 1/2" DIAMETER 10" LONG ANCHOR BOLTS AT 4'-0" O.C. EMBED IN CONCRETE A MINIMUM OF 7", PROVIDE NUTS AND WASHERS. A MINIMUM OF TWO BOLTS PER PLATE SECTION LONGER THEN 24", WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE 'WOLMANIZED' OR PRESURE PRESERVATIVE TREATED WOOD.
- PROVIDE 2X12 @ 24" O.C. LADDER FRAMING WHERE JOISTS RUN PARALLEL TO FOUNDATION WALL, PER CODE.
- REFER TO SHEET A-12 FOR ADDITIONAL NOTES PERTAINING TO THE FOUNDATION.

TYPICAL CONCRETE PORCH & STOOP NOTES:

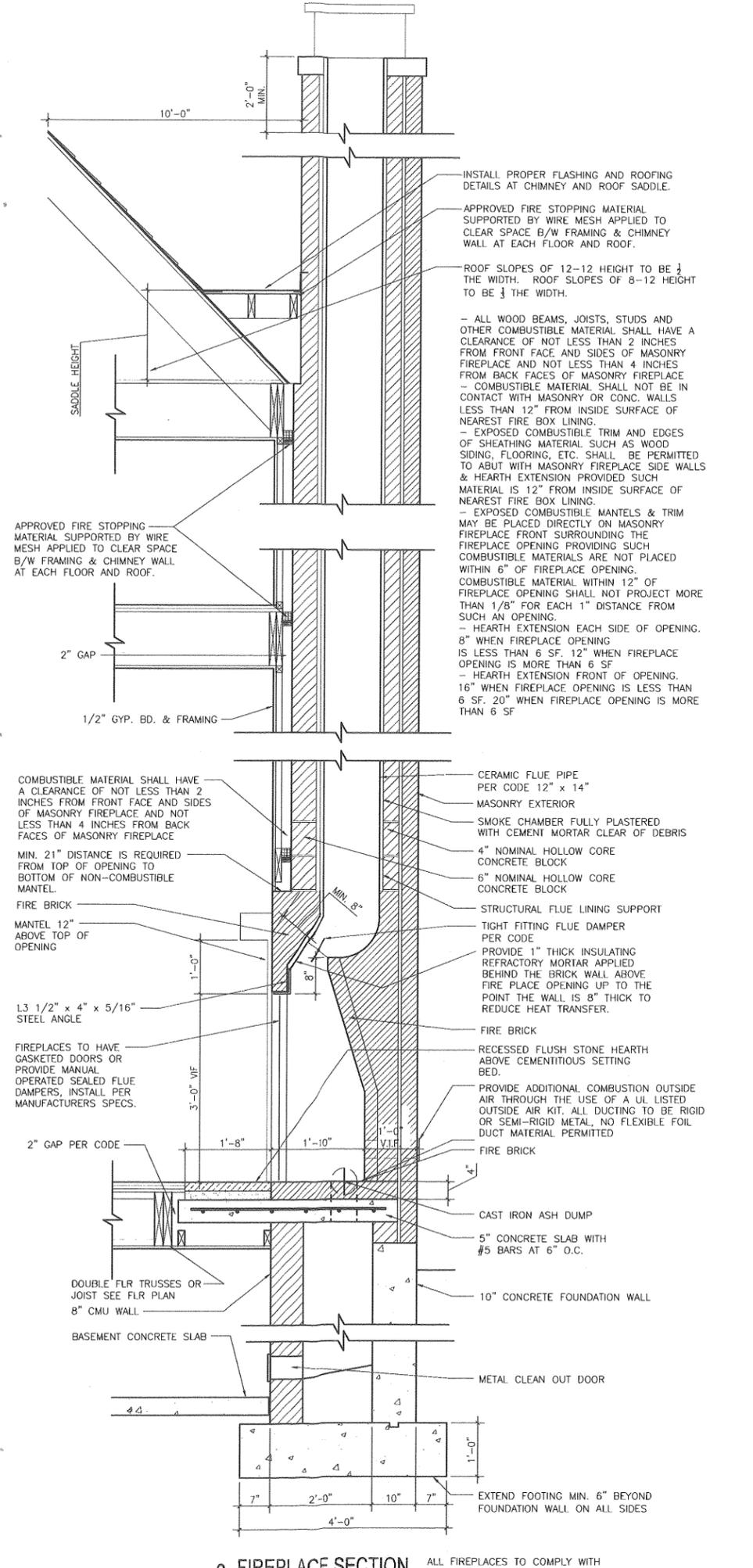
- 5" MINIMUM CONCRETE SLAB WITH 6X6-W2.1/W2.1 WWF OVER 6" COMPACTED GRAVEL BACK BASE. FOR PROPER COMPACTION TO SUPPORT CONCRETE SLAB ABOVE. (NO CLAY, BLACK DIRT, OR DEBRIS ALLOWED UNDER STOOPS OR SLABS.)
- TO PREVENT WATER INFILTRATION, ALL CONCRETE STOOPS, STEPS, PATIOS OR PORCHES BEING POURED TO AN ELEVATION HIGHER THAN THE TOP OF FOUNDATION AND AGAINST A CARPENTER FRAMED WALL OR RIM JOIST MUST BE FLASHED WITH 26 GA. SHEET METAL (FLASHING PROTECTION 3 INCHES (MIN.) ABOVE TOP OF STOOP (AND UNDER THRESHOLD AT DOORS) AND BENT AS REQUIRED TO EXTEND 6 INCHES (MIN.) BELOW TOP OF FOUNDATION. HOUSE WRAP BUILDING PAPER COVERING THE WALL SHEATHING MUST LAP OVER THIS REQUIRED FLASHING.
- CONCRETE STOOPS SHALL BE POURED AFTER THE ADJACENT MASONRY VENEER WALLS HAVE BEEN COMPLETED. REMOVE AN APPROPRIATE AMOUNT OF MASONRY BELOW TOP / STOOP LEVEL TO ALLOW STOOP TO BE POURED INTEGRAL WITH VENEER AND PROVIDE ADEQUATE SUPPORT FOR THE CONCRETE STOOP. WHEN SLAB DOES NOT BEAR ON FOUNDATION, DOWEL SLAB INTO EXTERIOR FOUNDATION WALL w/18" LONG #4 REBAR @ 18" O.C. HORIZ.

BASEMENT WINDOW WELL NOTES:

- BASEMENT ESCAPE WINDOWS TO BE POURED IN PLACE STEEL WINDOW FRAME WITH GALVANIZED STEEL AREA WELL AND SCREEN, U.N.O., WHERE CONCRETE WINDOW WELLS ARE INDICATED USE WINDOWS TO MATCH WINDOWS USED ON FLOORS ABOVE, WITH PRESURE TREATED WOOD WINDOW BUCK.
- PROVIDE PLASTIC DRAIN AND STRAINER TO MAKE DIRECT CONNECTION TO FOOTING DRAIN TILE BELOW. BACK FILL WINDOW WELL WITH GRAVEL FOR DRAINAGE TO DRAIN TILE BELOW.
- BOTTOM OF WINDOW TO BE 36" MAX. ABOVE TOP OF SLAB.
- PROVIDE WINDOW WELL COVERS; BARS, GRILLES, OR COVERS ARE REQUIRED OVER ALL BASEMENT WINDOW WELLS. THE ABOVE SHALL NOT HAVE A LOCKING MECHANISM OR REQUIRE ANY SPECIAL KNOWLEDGE TO ESCAPE. WINDOW WELL COVERS SHALL BE CAPABLE OF SUPPORTING A FULL GROWN ADULT. (MINIMUM CAPACITY 250 LBS.)
- HORIZONTAL PROJECTION AND CLEARANCE WIDTH TO BE MIN. OF 36".
- PROVIDE AT LEAST 1 ESCAPE WINDOW IN BASEMENT WITH A MINIMUM CLEAR OPENABLE AREA OF 5.7 SF, A MIN CLEAR OPENABLE HEIGHT OF 24", AND A MIN. CLEAR OPENABLE WIDTH OF 20". IF BASEMENT IS TO BE FINISHED WITH A SLEEPING ROOM THEN THE ESCAPE WINDOW AND WELL SHALL BE LOCATED IN THAT SLEEPING ROOM.
- ESCAPE WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER. LADDER RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12", SHALL PROJECT AT LEAST 3" FROM THE WALL, AND SHALL BE SPACED NOT MORE THAN 18" O.C. VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

BASEMENT LIGHT & VENT NOTES:

- BASEMENT EXCEPTION TO LIGHT AND VENT CODE REQUIREMENT PER SECTION R303.1 2006 IRC.
- PROVIDE APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM INSTALLED OR WHOLE HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM.
- PROVIDE ARTIFICIAL LIGHT CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE



FOOTINGS		
SIZE	REINFORCING	
F1 30" x 30" x 12"	(4) #4 BARS EACH WAY	
F2 36" x 36" x 12"	(5) #4 BARS EACH WAY	
F3 54" x 54" x 12"	(5) #5 BARS EACH WAY	

COLUMNS			
SIZE	BASE PLT.	CAP PLT.	
C1 3 1/2" O.D. STD. PIPE	8" x 10" x 3/8"	6" x 12" x 10"	
C2 4" O.D. STD. PIPE	8" x 12" x 3/8"	8" x 12" x 10"	
C3 4" x 4" x 1/2" HSS	10" x 12" x 3/4"	8" x 12" x 10"	

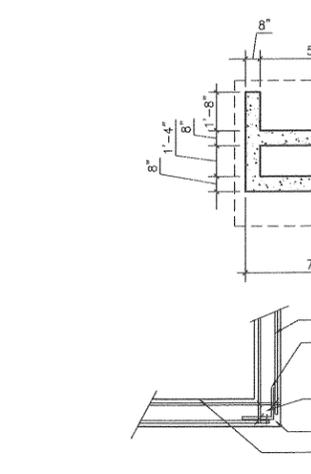
FOUNDATION REINFORCING			
THK	VERTICAL	HORIZONTAL	
5 FT	12" #5 @ 24" O.C. (2) #5 TOP, BOT		
10 FT	10" #5 @ 24" O.C. (2) #5 TOP, BOT & MID		
16'-0"	12" #6 @ 9" O.C. #5 @ 24" O.C.		

TYP. FOOTING: 24" x 12" D CONT.
33" x 12" D CONT. @ 16'-0" FND.
18" x 12" D @ PORCHES & PATIO

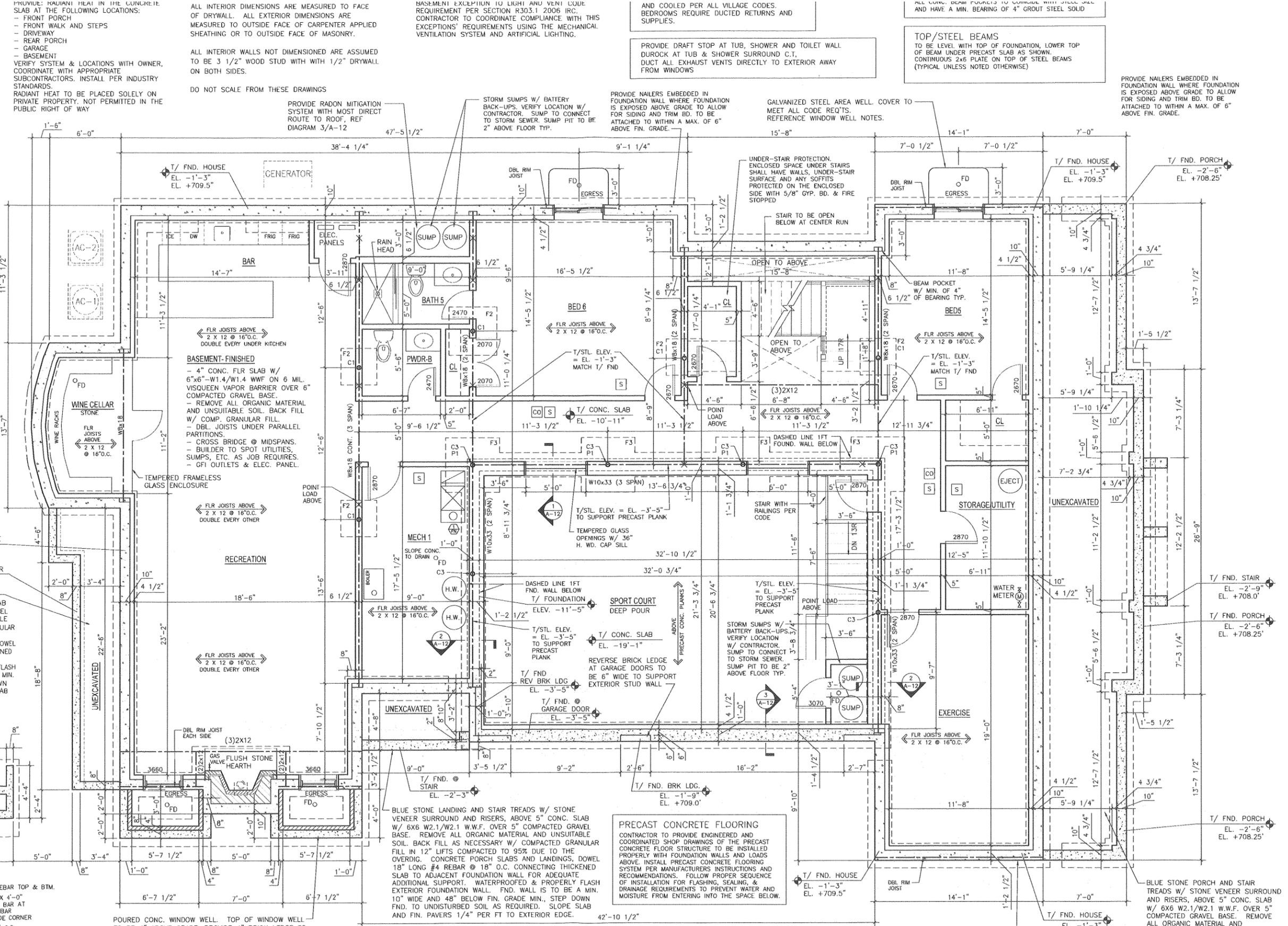
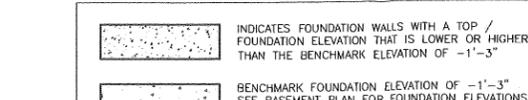
CONCRETE REINFORCING @ STL POSTS (4 PLACES)	
P1	(4) #5 VERTICAL BARS W/ TIES #3 @ 8" O.C. 12"x12" IN FOUNDATION REINFORCING

- DOUBLE UP FLOOR JOISTS UNDER BATH TUBS TYP.
- PROVIDE 2X12 @ 24" O.C. LADDER FRAMING WHERE JOISTS RUN PARALLEL TO FOUNDATION WALL, PER CODE
- NOTE: PROVIDE CLOSET HANGROD AND SHELF AT EACH CLOSET
- PROVIDE 2X12 @ 24" O.C. LADDER FRAMING WHERE JOISTS RUN PARALLEL TO FOUNDATION WALL, PER CODE

BLUE STONE LANDING AND STAIR TREADS W/ STONE VENEER SURROUND AND RISERS, ABOVE 5" CONC. SLAB W/ 6X6 W2.1/W2.1 W.W.F. OVER 5" COMPACTED GRAVEL BASE. REMOVE ALL ORGANIC MATERIAL AND UNSUITABLE SOIL. BACK FILL AS NECESSARY W/ COMPACTED GRANULAR FILL IN 12" LIFTS COMPACTED TO 95% DUE TO THE OVERDIEG. CONCRETE PORCH SLABS AND LANDINGS, DOWEL 18" LONG #4 REBAR @ 18" O.C. CONNECTING THICKENED SLAB TO ADJACENT FOUNDATION WALL FOR ADEQUATE ADDITIONAL SUPPORT. WATERPROOFED & PROPERLY FLASH EXTERIOR FOUNDATION WALL. FND. WALL IS TO BE A MIN. 10" WIDE AND 48" BELOW FIN. GRADE MIN., STEP DOWN FND. TO UNDISTURBED SOIL AS REQUIRED. SLOPE SLAB AND FIN. PAVERS 1/4" PER FT TO EXTERIOR EDGE.



2 TYP. CONC. CORNER DETAIL ALL CORNERS 1/2"=1'-0"



1 BASEMENT
SCALE: 1/4" = 1'-0"

SPORT COURT NOTES:
1. PROVIDE 3/4" HIGH IMPACT DRYWALL AT WALLS AND CEILINGS.
2. PROVIDE VANDEL PROOF IMPACT LIGHT FIXTURES
3. COORDINATE FINISHES AND FIXTURES WITH SPORTCOURT BUILD-OUT SUB-CONTRACTOR
4. PROVIDE VAPOR BARRIER ABOVE AND BELOW SLAB PER EXPERIENCED SPORTCOURT BELOW GRADE FLOORING CONTRACTOR

SPORT COURT NOTES:
PROVIDE COMPLETE BASEMENT WATERPROOF SYSTEM FOR ALL PORTIONS OF EXTERIOR BELOW GRADE CONCRETE WITH PROPER SEALS AND STOPS AT JOINTS AND PENETRATIONS.
PROVIDE BOTH EXTERIOR AND INTERIOR CONTINUOUS DRAINTILE, AND A DRAINTILE GRID 5 FT O.C. BOTH DIRECTIONS BELOW SLAB AT CONTRACTOR

NOTE: PROVIDE RADIANT HEAT IN BASEMENT CONC. SLAB VERIFY WITH OWNER EXACT LOCATIONS TO BE PROVIDED. COORDINATE WITH APPROPRIATE SUBCONTRACTORS.

HOT WATER HEATER NOTES:
ALL HOT WATER HEATER TO BE INSTALLED WITH VENT & INTAKE (2) PIPE SYSTEM. PROVIDE SUFFICIENT INTAKE OF COMBUSTION AIR. SYSTEM TO COMPLY WITH IECC 2015 R403.5

BOILER NOTES:
ALL BOILERS TO BE MIN. 90% EFFICIENT WITH VENT & INTAKE (2) PIPE SYSTEM. PROVIDE SUFFICIENT INTAKE OF COMBUSTION AIR.

MECHANICAL NOTES:
1. ALL FURNACES TO BE MIN. 90% EFFICIENT WITH VENT & INTAKE (2) PIPE SYSTEM, EQUIPPED W/ HUMIDIFIER & DEHUMIDIFICATION. PROVIDE MAKE-UP ARE DIRECTLY FROM OUTSIDE. PROVIDE SUFFICIENT INTAKE OF COMBUSTION AIR
2. REFER TO HVAC GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
3. PROVIDE SHUT-OFF SWITCH FOR ALL FURNACES
4. PROVIDE DRAIN PAN WITH A WATER-LEVEL MONITORING DEVICE INSTALLED INSIDE THE PRIMARY DRAIN PAN TO SHUT OFF THE EQUIPMENT SERVED IN THE EVENT THE PRIMARY DRAIN BECOMES RESTRICTED.
5. REPAIR UNDESIRABLE DRAIN

PROVIDE RADIAN HEAT IN THE CONCRETE SLAB AT THE FOLLOWING LOCATIONS:
- FRONT PORCH
- FRONT WALK AND STEPS
- DRIVEWAY
- REAR PORCH
- GARAGE
- BASEMENT
VERIFY SYSTEM & LOCATIONS WITH OWNER, COORDINATE WITH APPROPRIATE SUBCONTRACTORS. INSTALL PER INDUSTRY STANDARDS.
RADIANT HEAT TO BE PLACED SOLELY ON PRIVATE PROPERTY, NOT PERMITTED IN THE PUBLIC RIGHT OF WAY

DO NOT SCALE FROM THESE DRAWINGS

PROVIDE RADON MITIGATION SYSTEM WITH MOST DIRECT ROUTE TO ROOF, REF DIAGRAM 3/A-12

STORM SUMPS W/ BATTERY BACK-UPS. VERIFY LOCATION W/ CONTRACTOR. SUMP TO CONNECT TO STORM SEWER. SUMP PIT TO BE 2" ABOVE FLOOR TYP.

PROVIDE NAILERS EMBEDDED IN FOUNDATION WALL WHERE FOUNDATION IS EXPOSED ABOVE GRADE TO ALLOW FOR SIDING AND TRIM BD. TO BE ATTACHED TO WITHIN A MAX. OF 6" ABOVE FIN. GRADE.

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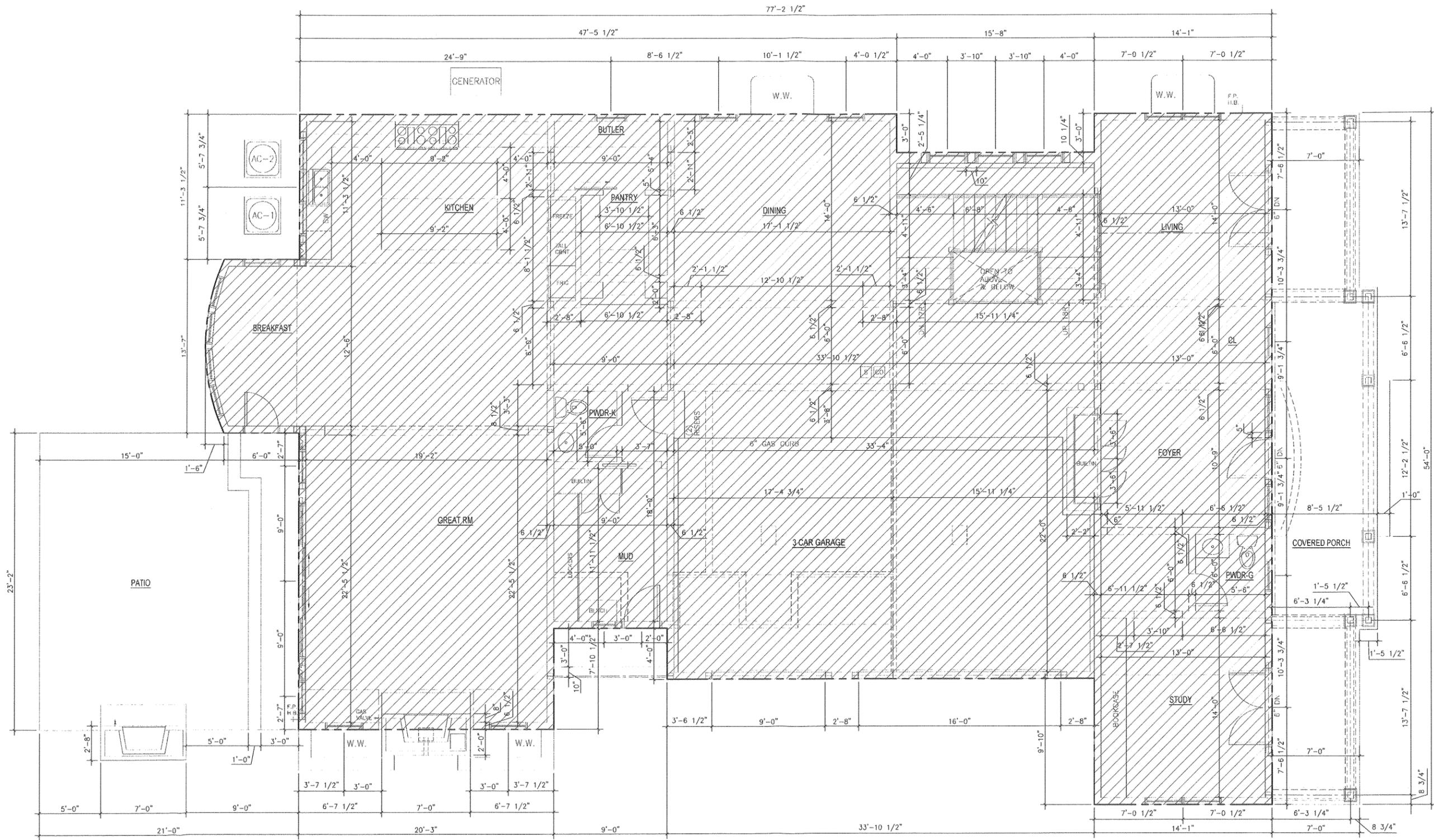
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DATE	ISSUED FOR REVIEW	ISSUED FOR PERMIT	ISSUED FOR CONSTRUCTION
03-24-2017	06-13-2017	07-10-2017	07-28-2017

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BASEMENT PLAN
SINGLE FAMILY RESIDENCE
504 S. OAK ST.
HINSDALE, ILLINOIS



F.A.R. DIAGRAM
FIRST FLOOR
SCALE: 1/4" = 1'-0"
1ST FL = 3639 SF FAR



MAX. FLOOR AREA
3,639 SF = FIRST FLR
3,537 SF = SECOND FLR
7,176 SF = FAR TOTAL

ISSUE DATES:	ISSUE DATES:
DATE	ISSUED FOR REVIEW
03-24-2017	ISSUED FOR REVIEW
08-13-2017	ISSUED FOR REVIEW
07-10-2017	ISSUED FOR REVIEW
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FIRST FLOOR FAR DIAGRAM
SINGLE FAMILY RESIDENCE
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HINSDALE, ILLINOIS

SHEET NO.

ATTIC MECHANICAL NOTES:

1. ALL FURNACES TO BE MIN. 90% EFFICIENT WITH VENT & INTAKE (2) PIPE SYSTEM, EQUIPPED W/ HUMIDIFIER & DEHUMIDIFICATION. PROVIDE MAKE-UP AIR DIRECTLY FROM OUTSIDE. PROVIDE SUFFICIENT INTAKE OF COMBUSTION AIR.
2. REFER TO HVAC GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
3. PROVIDE SHUT-OFF SWITCH FOR ALL FURNACES.
4. PROVIDE DRAIN PAN WITH A WATER-LEVEL MONITORING DEVICE INSTALLED INSIDE THE PRIMARY DRAIN PAN TO SHUT OFF THE EQUIPMENT SERVED IN THE EVENT THE PRIMARY DRAIN BECOMES RESTRICTED.
5. PROVIDE VIBRATION PAD.
6. PROVIDE 30" X 30" CLEAR ACCESS SPACE AT SERVICE SIDE OF APPLIANCE.

NOTE: PROVIDE CLOSET HANGROD AND SHELF AT EACH CLOSET

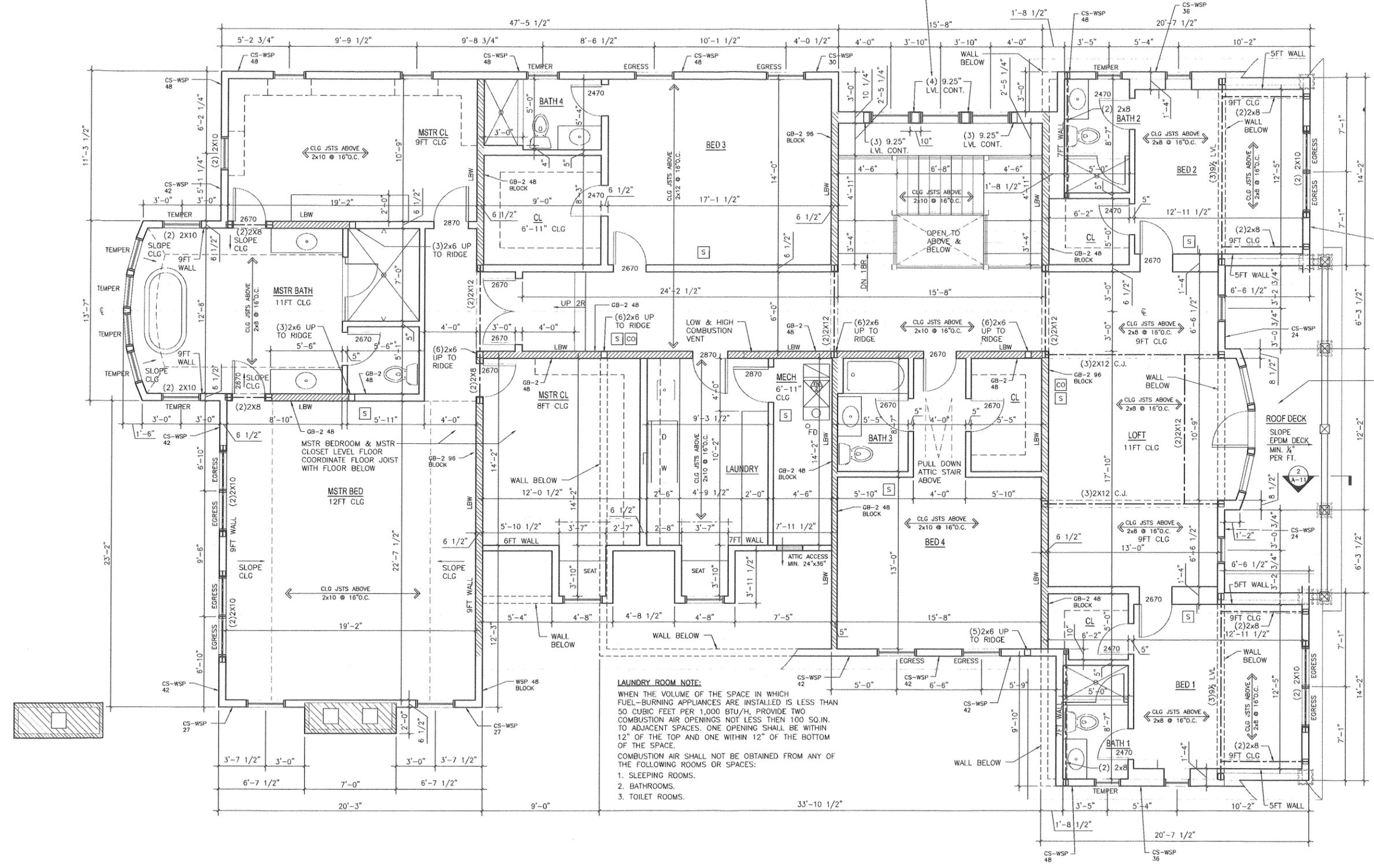
DOUBLE UP FLOOR JOISTS UNDER BATH TUBS TYP.

PROVIDE MAILING PATTERN PER IRC

WSP = WOOD STRUCTURAL PANEL SHEATHING
CS-WSP = CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING
CS-PF = CONTINUOUS PORTAL FRAME
GB-2 = GYPSUM BOARD BOTH SIDES OF WALL
MP = MANUFACTURED PANEL

TYPICAL MEMBERS, U.N.O.

HEADER = (2) 2X12
BUILT UP COLUMN = (3) STUD
- ALL POSTS MUST BEAR DIRECTLY ON LOAD BEARING WALLS, POSTS BELOW, OR STEEL BEAMS TO TRANSFER TO FOUNDATION. BLOCK DOWN THROUGH FLOOR OR WALL CAVITIES WHERE NECESSARY.



LAUNDRY ROOM NOTE:

WHEN THE VOLUME OF THE SPACE IN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED IS LESS THAN 50 CUBIC FEET PER 1,000 BTU/H, PROVIDE TWO COMBUSTION AIR OPENINGS NOT LESS THAN 100 SQ. IN. TO ADJACENT SPACES. ONE OPENING SHALL BE WITHIN 12" OF THE TOP AND ONE WITHIN 12" OF THE BOTTOM OF THE SPACE.

COMBUSTION AIR SHALL NOT BE OBTAINED FROM ANY OF THE FOLLOWING ROOMS OR SPACES:

1. SLEEPING ROOMS.
2. BATHROOMS.
3. TOILET ROOMS.

2"x8" SLEEPERS @ 16" O.C. OVER FLR JOISTS W/ SLEEPERS ABOVE RIPPED TO PROVIDE 1/4" PER FT. SLOPE TO EAST EDGE, 3/4" PLYWD FULLY ADHERED EPDM ROOF MEMBRANE INSTALLED PER MANUF. SPECS., TYP. DECKING ON DECK JOISTS, PROVIDE RUBBER LEVELING PADS UNDER DECK FRAMING & ABOVE ROOF MEMBRANE TO ALLOW DRAINAGE.

1 SECOND FLOOR
SCALE: 1/4" = 1'-0"
2ND FL = 3537 SF FAR



ISSUE DATES:	DATE	REVISIONS
	03-24-2017	ISSUED FOR REVIEW
	06-15-2017	ISSUED FOR REVIEW
	07-10-2017	ISSUED FOR REVIEW
	07-28-2017	ISSUED FOR PERMIT & CONSTRUCTION

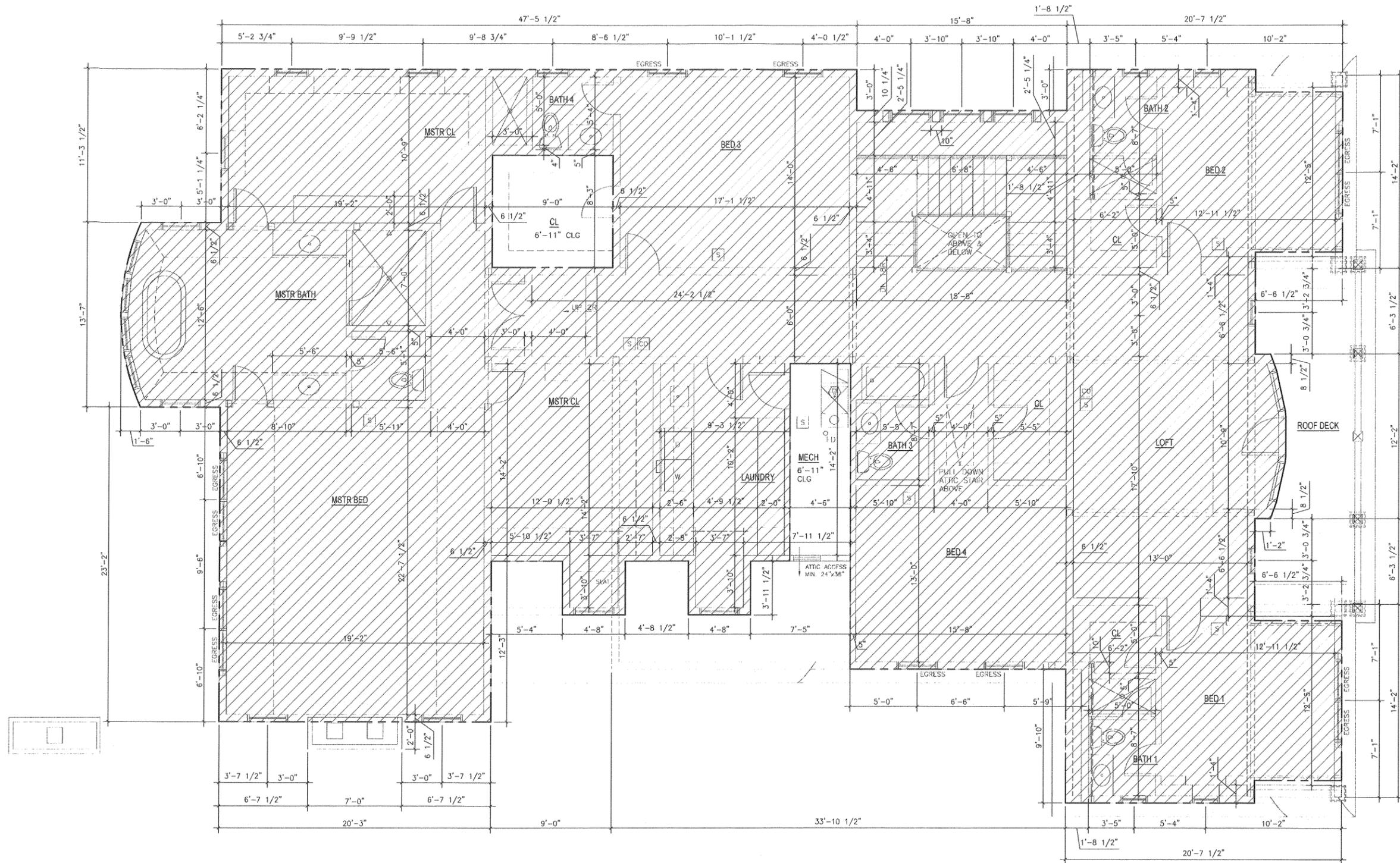
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SECOND FLOOR PLAN
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SHEET NO.



F.A.R. DIAGRAM
1 SECOND FLOOR
SCALE: 1/4" = 1'-0"
2ND FL = 3537 SF FAR



ISSUE DATES:	DATE	REMARKS
	02-24-2017	ISSUED FOR REVIEW
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SECOND FLOOR FAR DIAGRAM
SINGLE FAMILY RESIDENCE
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HINSDALE, ILLINOIS

SHEET NO.

WALL SHEATHING/DRAINAGE
 PROVIDE NAILING PATTERN PER IRC
 WSP = WOOD STRUCTURAL PANEL SHEATHING
 CS-WSP = CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING
 CS-PF = CONTINUOUS PORTAL FRAME
 GB-2 = GYPSUM BOARD BOTH SIDES OF WALL
 MP = MANUFACTURED PANEL

STANDARD ELEVATION NOTES

INSTALL EXTERIOR FINISH MATERIALS PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND PER INDUSTRY STANDARDS. FOLLOW PROPER INSTALLATION SEQUENCE FOR FLASHING, SEALING, & DRAINAGE SYSTEMS TO PREVENT WATER MOISTURE FROM ENTERING ENCLOSURE AND DIVERT WATER AWAY FROM BUILDING.

PROVIDE A PITCH, SLOPE, OR ANGLE AWAY FROM BUILDING FACE FOR ALL EXTERIOR HORIZONTAL PROTRUDING ELEMENTS TO DRAIN WATER AWAY FROM THE BUILDING AND NOT BACK INTO THE BUILDING. MINIMUM SLOPE TO DRAIN WATER OF 1/2" PER FOOT. I.E. SILLS, LEDGES.

ALL RAFTER HEELS TO REST ON TOP OF DOUBLE PLATES. DOUBLE PLATE AND BEARING HEIGHTS MEASURED FROM SUB FLOOR

SHAKE WALL SIDING
 PAINTED WOOD TRIM BOARDS AND PANELS
 STONE VENEER AT PORCH WALLS
 STONE CHIMNEY

ASPHALT SHINGLES ROOF SYSTEM
 PRE-FINISHED ALUMINUM GUTTERS AND DOWN SPOUTS
 FLASHING AT ALL ROOF TO WALL INTERSECTIONS
 FLASHING AT ALL ROOFING TO CHIMNEY INTERSECTIONS

IMPORTANT FLASHING NOTE

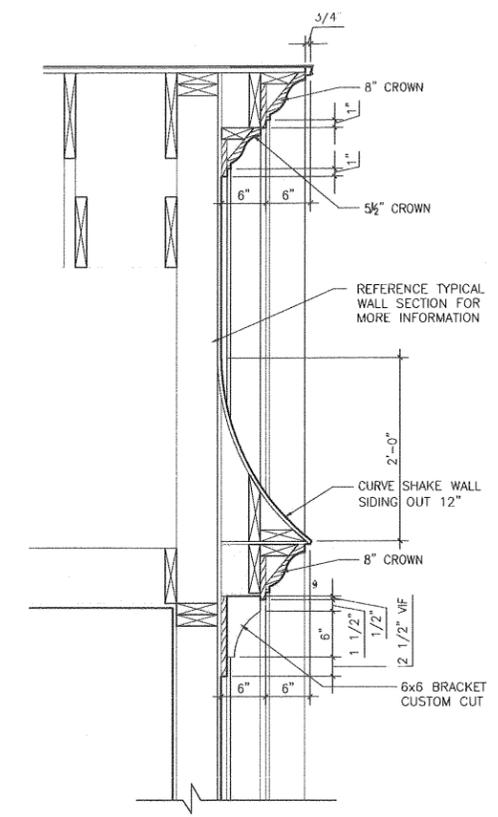
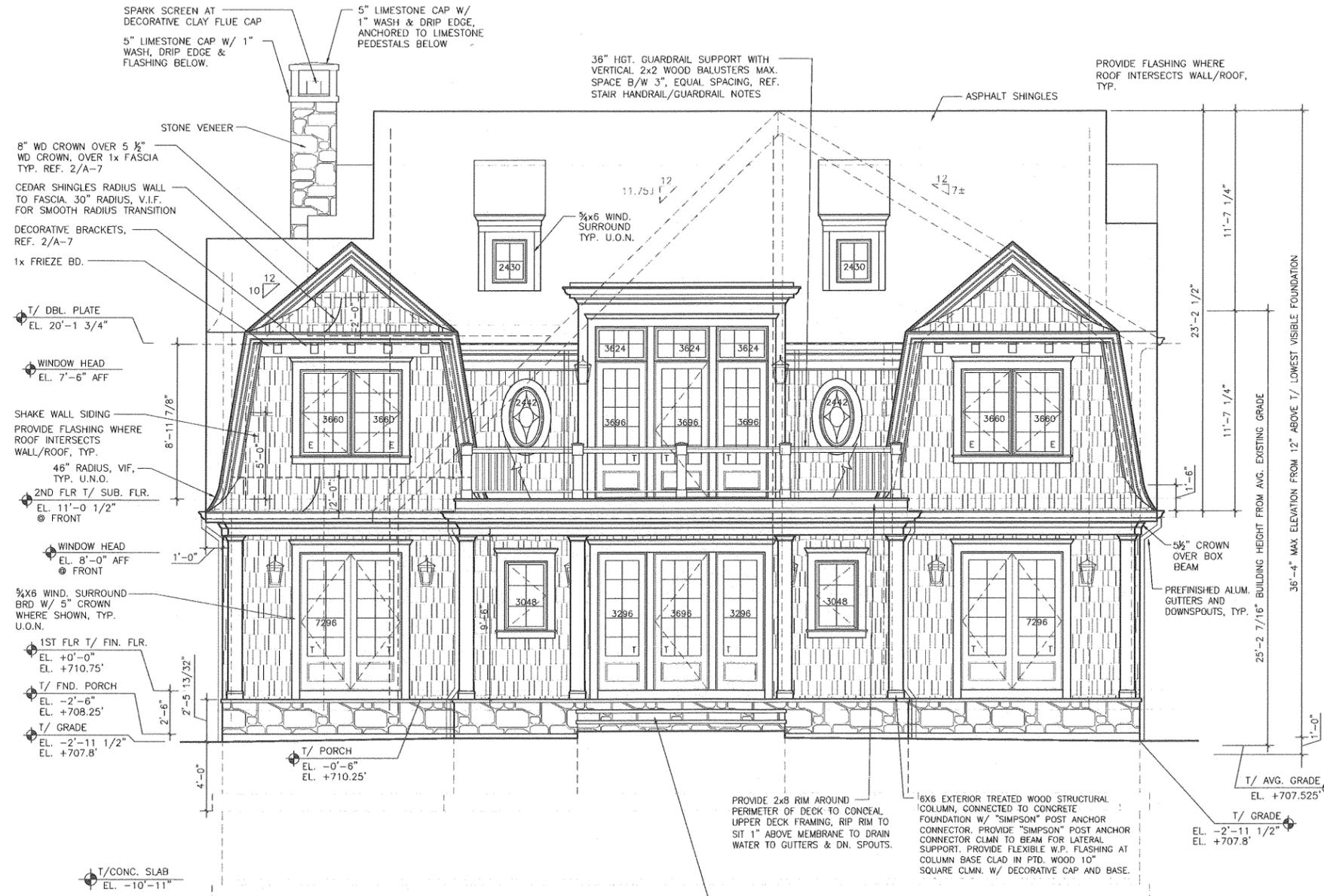
ALL CONCRETE STOOPS, STEPS, PATIOS OR PORCHES BEING POURED TO AN ELEVATION HIGHER THAN THE TOP OF FOUNDATION AND AGAINST A CARPENTER - FRAMED WALL OR RIM JOIST MUST BE FLASHED WITH 26 GA. SHEET METAL (FLASHING PROTECTION 3 INCHES (MIN.) ABOVE TOP OF STOOP (AND UNDER THRESHOLD AT DOORS) AND BENT AS REQUIRED TO EXTEND 3 INCHES (MIN.) BELOW TOP OF FOUNDATION. BUILDING PAPER, TYVEK 15# FELT COVERING THE WALL SHEATHING MUST BE LAP OVER THIS REQUIRED FLASHING.

ALL FLASHING MUST BE INTEGRATED WITH WATER DRAINAGE PLANE & PROPER SEQUENCE OF CONSTRUCTION. PROVIDE FLASHING AT ALL ROOF TO WALL INTERFACES & TERMINATE WITH "KICKOUT" FLASHING, PENETRATIONS IN BUILDING ENCLOSURE; INCLUDING WINDOWS, DOORS, VENTS, PIPES, ETC.. LAP WEATHER BARRIER OVER FLASHINGS. WINDOWS TO BE PAN FLASHED, BACK DAMMED, & WEEPED FOR PROPER WATER MOISTURE DRAINAGE TO EXTERIOR.

FOLLOW SMACNA INSTALLATION DETAILS.

BUILDING PAPER AND AIR BARRIER INFORMATION

ALL EXTERIOR WALLS SHALL BE WRAPPED WITH TYVEK AIR & WATER BARRIER PER MANUFACTURERS RECOMMENDATIONS & INSTRUCTIONS WITH PROPER SEQUENCE OF CONSTRUCTION FOR WATER MANAGEMENT. INSTALL OVER THE EXTERIOR WALL SHEATHING WITH PROPER LAPPING, FASTENING, AND TAPPING. PROPERLY INTEGRATE WITH ALL WALL FLASHINGS & FLASHINGS AROUND WALL PENETRATIONS. REPAIR AS REQUIRED BEFORE INSTALLATION OF SIDING OR MASONRY.



REFERENCE TYPICAL WALL SECTION FOR MORE INFORMATION

2 PROJECTION @ GABLE END

SCALE: 1" = 1'-0"
 PROVIDE FIELD MOCK-UP FOR REVIEW
 SECTION IS PROVIDED FOR DIMENSIONING AND TRIM DETAILS ONLY PROVIDE INSULATION AND STRUCTURAL DETAILING AS REQUIRED BY VILLAGE CODES

1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

BLUE STONE LANDING AND STAIR TREADS W/ STONE VENEER SURROUND AND RISERS, ABOVE 5" CONC. SLAB W/ 6X6 W2.1/W2.1 W.W.F. OVER 5" COMPACTED GRAVEL BASE. REMOVE ALL ORGANIC MATERIAL AND UNSUITABLE SOIL. BACK FILL AS NECESSARY W/ COMPACTED GRANULAR FILL IN 12" LIFTS COMPACTED TO 95% DUE TO THE OVERDIG. CONCRETE PORCH SLABS AND LANDINGS, DOWEL 18" LONG #4 REBAR @ 18" O.C. CONNECTING THICKENED SLAB TO ADJACENT FOUNDATION WALL FOR ADEQUATE ADDITIONAL SUPPORT. WATERPROOFED & PROPERLY FLASH EXTERIOR FOUNDATION WALL. FND. WALL IS TO BE A MIN. 10" WIDE AND 48" BELOW FIN. GRADE MIN., STEP DOWN FND. TO UNDISTURBED SOIL AS REQUIRED. SLOPE SLAB AND FIN. PAVERS 1/4" PER FT TO EXTERIOR EDGE.



ISSUE DATES:	DATE	ISSUED FOR REVIEW	REMARKS
	02-24-2017	ISSUED FOR REVIEW	
	03-10-2017	ISSUED FOR REVIEW	
	07-10-2017	ISSUED FOR REVIEW	
	07-26-2017	ISSUED FOR REVIEW & CONSTRUCTION	

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EXTERIOR ELEVATIONS
SINGLE FAMILY RESIDENCE
 504 S. OAK ST.
 HINSDALE, ILLINOIS

SHEET NO.

"E" SEE ELEVATIONS FOR LOCATIONS OF WINDOWS THAT ARE REQUIRED TO SATISFY THE FOLLOWING EGRESS REQUIREMENTS OF INTERNATIONAL RESIDENTIAL CODE, INDICATED BY A "E" IN THE LOWER CORNER:

- MINIMUM WIDTH OF OPENING: 20 IN.
- MINIMUM HEIGHT OF OPENING: 24 IN.
- MINIMUM NET CLEAR OPENING: 5.7 SQ. FT. (5.0 SQ. FT. FOR GROUND FLOOR).
- MAXIMUM SILL HEIGHT ABOVE FLOOR: 44 IN.

TYPICAL WIND BRACING AND EXTERIOR SHEATHING
 EXTERIOR PLYWOOD SHEATHING TO BE NAILED AT 6" O.C. ON ALL EDGES AND ENTIRE FIELD. CONTINUOUS FROM TOP PLATE TO BOTTOM PLATE AT ALL CORNERS 48" MIN. AT EXTERIOR WALLS.

EXTERIOR DOOR ENERGY EFFICIENCY
 EXTERIOR SOLID DOORS WITH LESS THAN 50% GLAZING - U FACTOR OF 0.4
 EXTERIOR GLASS DOORS WITH MORE THAN 50% GLAZING - U FACTOR OF 0.4
 -EXTERIOR SLIDING AND FRENCH DOORS PROVIDED BY THE WINDOW MANUFACTURER TO HAVE U VALUES EQUAL TO THE WINDOW UNITS

WINDOW INFORMATION
 INSTALL WINDOWS PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. FOLLOW PROPER SEQUENCE OF INSTALLATION FOR FLASHING, SEALING, & DRAINAGE REQUIREMENTS.
 ALL PRIME WINDOWS ON THE JOB SHALL BE BID AND PRICING REVIEWED WITH OWNER FOR FINAL DECISION

EAGLE JELD WEN
 ANDERSEN PELLA
 MARVIN

ALL PATIO DOOR UNITS ON THE JOB SHALL BE
 EAGLE JELD WEN
 ANDERSEN PELLA
 MARVIN

FINISH AND COLOR OF PRIME WINDOWS TO BE
 EXTERIOR CLAD REVIEW BY OWNER & ARCHITECT
 GLAZING PACKAGE SHALL BE (SEE TEMPERED GLASS NOTE BELOW)
 DOUBLE GLAZED INSULATED GLASS LOW-E COATING
 WINDOW MUTTONS SHALL BE
 SDL - GLUED TO INSIDE AND OUTSIDE FACE OF GLASS
 WINDOW SIZES SHOWN ARE BASED UPON
 NOMINAL DIMENSIONS IN INCHES
 WINDOW ACCESSORIES TO BE PROVIDED
 SCREENS

WINDOW U-FACTOR TO BE 0.32 OR BETTER

WINDOWS AND SLIDING DOORS GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER S.F. AND SWINGING DOORS NO MORE THAN 0.5 CFM PER S.F. LEAVE ALL MANUFACTURERS STICKERS ON WINDOWS AND DOOR S UNTIL AFTER INSULATION INSPECTION

GLAZING IN HAZARDOUS LOCATION NOTES:
 GLAZING TO FOLLOW 2006 INTERNATIONAL RESIDENTIAL CODE, SECTION R308
 TEMPERED / SAFETY GLASS MUST BE PROVIDED IN THE FOLLOWING LOCATIONS:

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOORS.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET;
 2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR;
 3. THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR; AND
 4. ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.
- GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
- GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.
- GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS, AND RAMP.
- GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

COORDINATE WINDOW JAMB DEPTH WITH DEPTH OF EXTERIOR WALL

"T" SEE ELEVATIONS FOR LOCATIONS OF WINDOWS THAT ARE REQUIRED TO HAVE TEMPERED GLASS, INDICATED BY A "T" IN THE LOWER CORNER



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EXTERIOR ELEVATIONS
SINGLE FAMILY RESIDENCE
 504 S. OAK ST.
 HINSDALE, ILLINOIS

SHEET NO.



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS
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HINSDALE, ILLINOIS

SHEET NO.



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

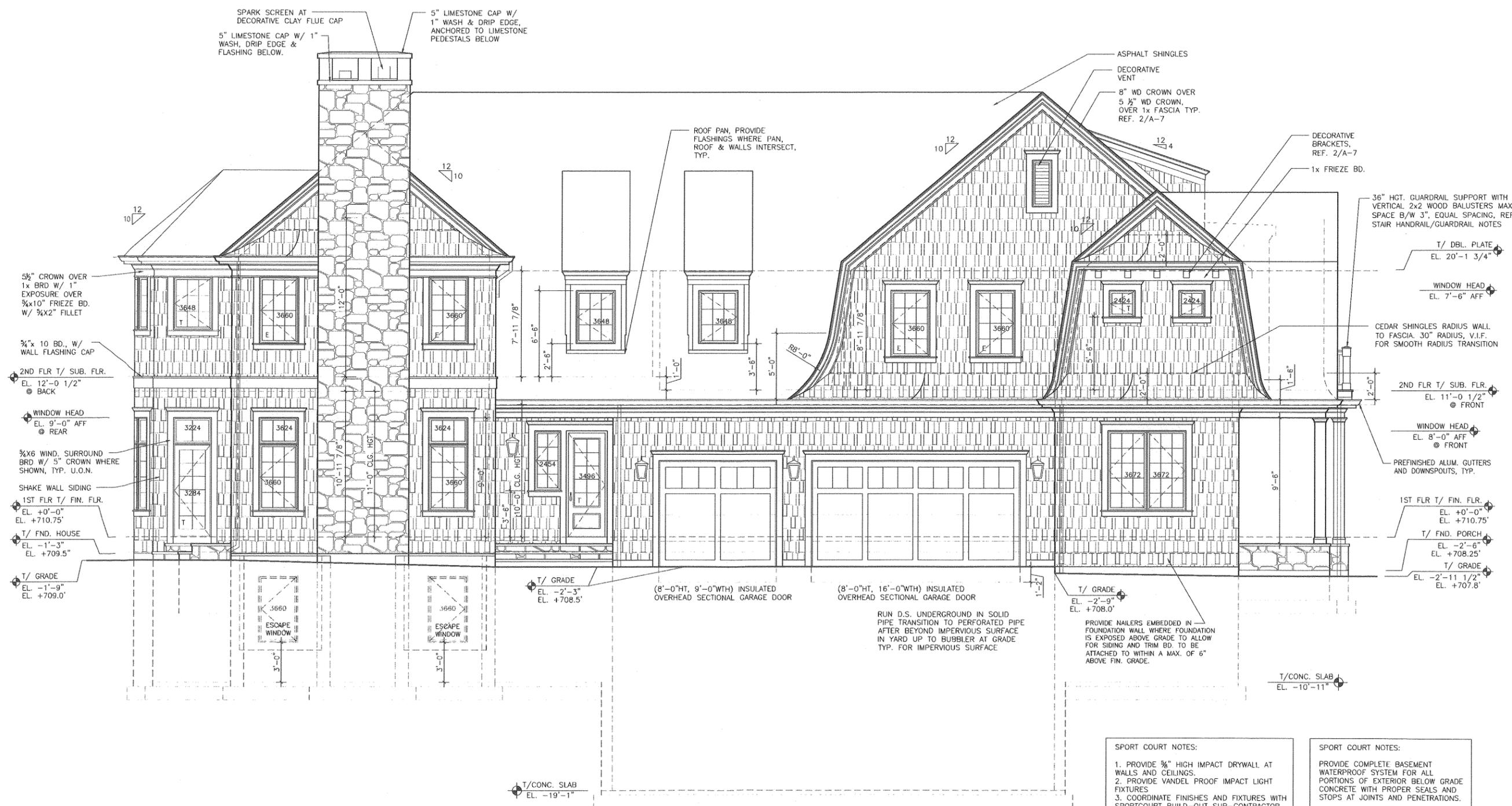
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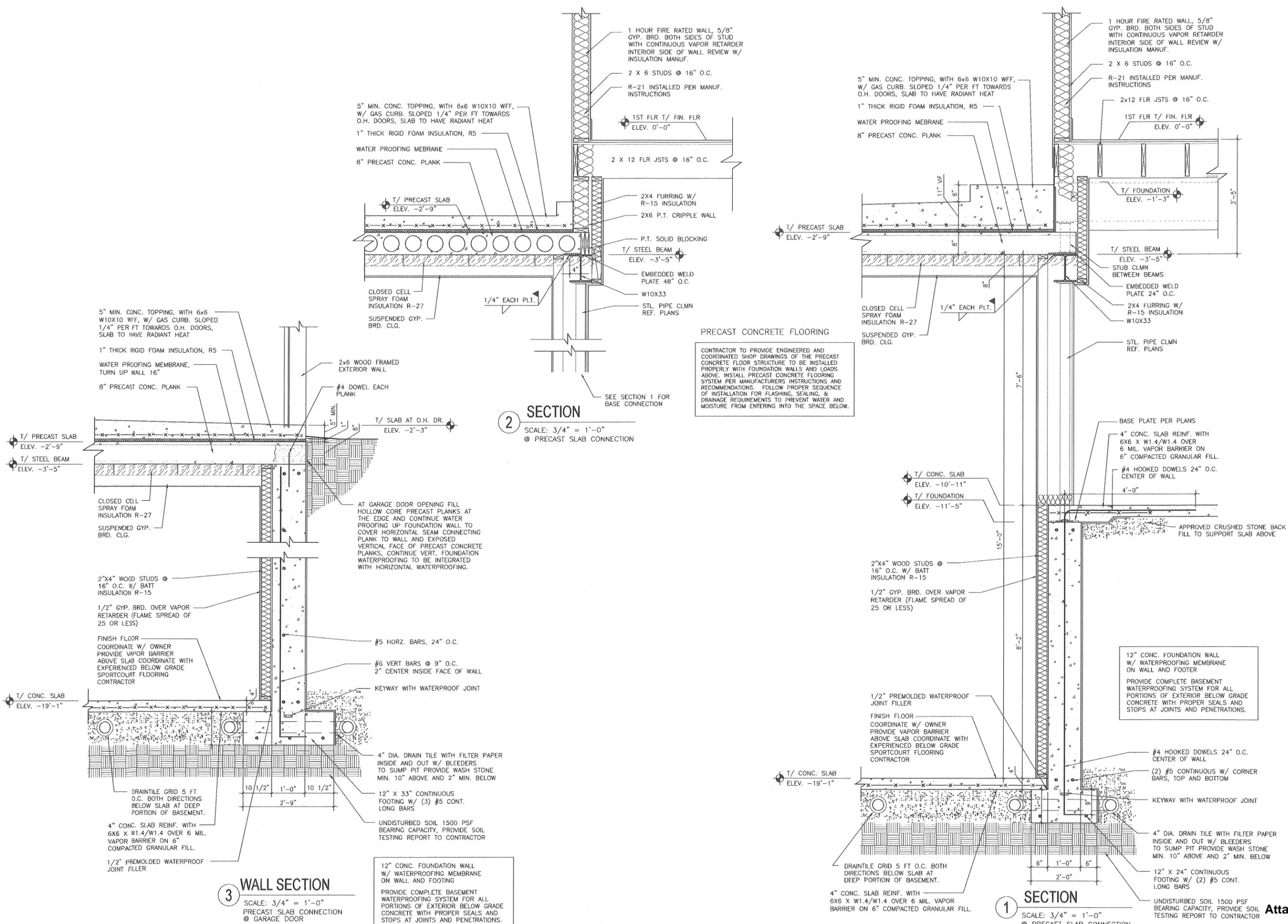
SHEET NO.



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SPORT COURT NOTES:
1. PROVIDE 3/8" HIGH IMPACT DRYWALL AT WALLS AND CEILINGS.
2. PROVIDE VANDEL PROOF IMPACT LIGHT FIXTURES
3. COORDINATE FINISHES AND FIXTURES WITH SPORTCOURT BUILD-OUT SUB-CONTRACTOR
4. PROVIDE VAPOR BARRIER ABOVE AND BELOW SLAB PER EXPERIENCED SPORTCOURT BELOW GRADE FLOORING CONTRACTOR

SPORT COURT NOTES:
PROVIDE COMPLETE BASEMENT WATERPROOF SYSTEM FOR ALL PORTIONS OF EXTERIOR BELOW GRADE CONCRETE WITH PROPER SEALS AND STOPS AT JOINTS AND PENETRATIONS.
PROVIDE BOTH EXTERIOR AND INTERIOR CONTINUOUS DRAINTILE, AND A DRAINTILE GRID 5 FT O.C. BOTH DIRECTIONS BELOW SLAB AT DEEP PORTION OF BASEMENT.



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SECTIONS
 SINGLE FAMILY RESIDENCE
 504 S. OAK ST.
 HINSDALE, ILLINOIS

SHEET NO. **A-12**

ADDRESS	FRONT SETBACK
#320	69.1'
#422	86.2'
#504	206.4' (HIGH - EXCLUDE)
#540	50.1' (LOW - EXCLUDE)
#328 6th	128.4'

AVERAGE = 91.9'

PLANTING PLAN NOTES & COST ESTIMATE

ALL PAVEMENT AREAS SHALL BE PLANTED WITH SOD. TOPSOIL AND SOD SHALL BE PLACED WITHIN 14 DAYS AFTER COMPLETION OF FINE GRADING OPERATIONS.

ITEM	UNITS	UNIT PRICE	QUANTITY	COST
4" TOPSOIL	S.Y.	\$ 2.00	1800	\$ 3600
SOD	S.Y.	\$ 3.00	1800	\$ 5400
TOTAL COST				\$ 9000



SCALE: 1" = 10'



SITE PLAN

FOR
504 S. OAK ST. - HINSDALE, IL

EXISTING GRADE CALCULATIONS

FRONT NORTH = 707.5
 FRONT SOUTH = 707.6
 REAR NORTH = 708.6
 REAR SOUTH = 708.1
 AVERAGE = 708.0

LOT AREA = 25900 S.F. (±)
 EXISTING IMPERVIOUS AREA = 9950 S.F. (38.4 %)
 PROPOSED IMPERVIOUS AREA = 8650 S.F. (33.4 %)
 PROPOSED FRONT YARD COVERAGE = 2700 S.F. (37.6 %)

DRAINAGE AREA CALCULATION (EXISTING)
 WEST = 0 S.F. (0 %)
 NORTH = 6900 S.F. (26.6 %)
 SOUTH = 0 S.F. (0 %)
 EAST = 19000 S.F. (73.4 %)

TOTAL = 25900 S.F. (100 %)

DRAINAGE AREA CALCULATION (PROPOSED)

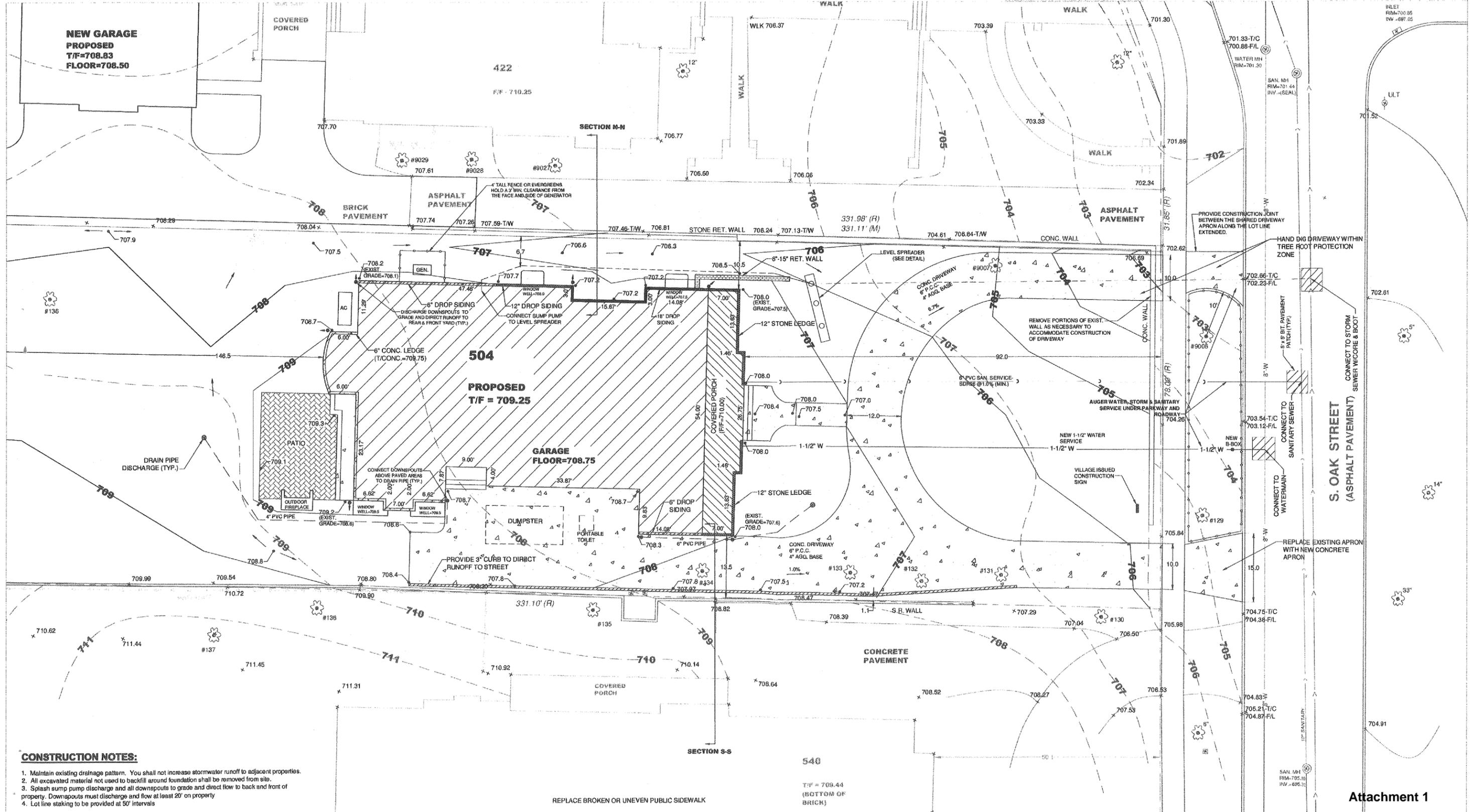
WEST = 0 S.F. (0 %)
 NORTH = 6500 S.F. (25.1 %)
 SOUTH = 0 S.F. (0 %)
 EAST = 19400 S.F. (74.9 %)

TOTAL = 25900 S.F. (100 %)

- AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST REVISION, SHALL GOVERN CONSTRUCTION FOR THE PROPOSED IMPROVEMENTS UNLESS SUPERCEDED BY SPECIAL PROVISIONS IN THE VILLAGE OF HINSDALE SUBDIVISION AND ENGINEERING SPECIFICATIONS MANUAL.
- THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF HINSDALE AT LEAST TWO (2) WORKING DAYS BEFORE THE INITIAL START OF OPERATIONS, OPENING ANY STREET PAVEMENT OR ANY TEMPORARY STOP OR RESUMPTION OF OPERATIONS.
 - ALL NEW UNDERGROUND SERVICES SHALL BE PLACED AT LEAST FIVE (5) FEET FROM SANITARY AND WATER SERVICES.
 - WHEREVER THE WORDS "ENGINEER" OR "INSPECTOR" APPEAR, IT SHALL BE INTERPRETED TO MEAN A REPRESENTATIVE OF THE VILLAGE OF HINSDALE.
 - A COPY OF THE CITY APPROVED STAMPED PLANS AND SPECIFICATIONS AND OTHER AGENCIES PERMITS, I.E. COUNTY HIGHWAY, ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, ETC., MUST BE KEPT ON THE JOB SITE DURING CONSTRUCTION OF THE PROJECT WORK.
 - CHANGES IN THE ENGINEERING PLANS MUST BE APPROVED BY THE VILLAGE ENGINEER. A WRITTEN REQUEST, ACCOMPANIED BY REVISED ENGINEERING PLANS, IS TO BE SUBMITTED AND APPROVED BEFORE CHANGES ARE STARTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES (AMERITECH, COMMONWEALTH EDISON ELECTRIC COMPANY, ETC.) PRIOR TO CONSTRUCTION AND ALL UTILITIES DAMAGED AND/OR DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER, LOCATIONS AS SHOWN ARE APPROXIMATE AND BASED UPON THE BEST AVAILABLE INFORMATION. CALL 311.I.E. FOR MAJOR UTILITY LOCATIONS.
 - THE CONTRACTOR IS TO VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK AND, IF THERE ARE ANY DISCREPANCIES, IS TO NOTIFY THE DESIGN ENGINEER AT ONCE. NO WORK SHALL BE DONE UNTIL THE DISCREPANCIES ARE RESOLVED.
 - EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE REMOVED TO A MINIMUM DISTANCE OF 16 FEET ON EACH SIDE OF ANY EXISTING UTILITIES TO REMAIN IN SERVICE AND/OR ANY PROPOSED UTILITIES.

MASS GRADING NOTES

- ALL UNSUITABLE MATERIAL MUST BE REMOVED FROM THE PROPOSED BUILDING AREA OR AS INDICATED ON THE SOILS REPORT FOR THE SUBJECT DEVELOPMENT.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE MASS GRADING OPERATIONS OF A SUBDIVISION OR PARCEL OF LAND, THE DEVELOPER OR BUILDER, MUST NOTIFY THE VILLAGE ENGINEER TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION. IN ADDITION, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, ALL REQUIRED BONDS MUST BE POSTED AND PERMIT FEES PAID. ALL MASS GRADING OPERATIONS OF A SUBDIVISION OR INDIVIDUAL BUILDING PARCEL, AS WELL AS ANY ROADWAY OR PARKING LOT IMPROVEMENT, MUST BE CONSTRUCTED ACCORDING TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IN ILLINOIS, CURRENT EDITION, AS WELL AS THE AMERICAN SOCIETY OF STATE HIGHWAY OFFICIALS, CURRENT EDITION.
- ALL GRADING OPERATIONS MUST BE CONSTRUCTED ACCORDING TO THE ELEVATIONS AND GRADES, AS SHOWN ON THE PLANS OR MODIFIED BY THE VILLAGE ENGINEER. ALL EXCAVATED MATERIAL SHALL BE PLACED AND STOCKPILED ON THE SUBJECT PROPERTY, AS PREVIOUSLY APPROVED. THE SUBDIVIDER OR BUILDER MUST ADHERE TO THE APPROVED ENGINEERING PLANS, DURING THE COURSE OF CONSTRUCTION OF THE DESIGNATED IMPROVEMENTS. POSITIVE DRAINAGE MUST BE PROVIDED AT ALL TIMES IN AN ATTEMPT NOT TO AFFECT THE SUBJECT DEVELOPMENT OR TO INFRINGE UPON ADJACENT PROPERTIES.



CONSTRUCTION NOTES:

- Maintain existing drainage pattern. You shall not increase stormwater runoff to adjacent properties.
- All excavated material not used to backfill around foundation shall be removed from site.
- Splash sump pump discharge and all downspouts to grade and direct flow to back and front of property. Downspouts must discharge and flow at least 20' on property.
- Lot line staking to be provided at 50' intervals

REPLACE BROKEN OR UNEVEN PUBLIC SIDEWALK

T/F = 709.44
 (BOTTOM OF BRICK)

SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL AND DIMINATION CONTROL, PROCEDURES AND STANDARDS FOR URBAN SOIL AND DIMINATION CONTROL IN ILLINOIS, AND THE VILLAGE OF HINSDALE.

PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED WITHIN 15 LENDAR DAYS OF THE END OF ACTIVE SOIL DISTURBANCE.

SEDIMENTATION BASINS, BARRIERS, AND ALL APPROPRIATE EROSION CONTROL ASURES SHALL BE INSTALLED PRIOR TO MASS GRADING.

ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS DEEMED NECESSARY BY THE VILLAGE OF HINSDALE.

INSTALL PERMANENT SEEDING AND SOD IN ALL AREAS AS REQUIRED BY THE VILLAGE OF HINSDALE.

ALL EROSION CONTROL DEVICES SHALL BE INSPECTED WEEKLY AND AFTER INFALLS GREATER THAN 0.5" BY QUALIFIED PERSONNEL. WHEN SILT FENCE COMES MORE THAN ONE-THIRD FULL, IT SHALL BE CLEANED.

**FOR
504 S. OAK ST. - HINSDALE, IL**

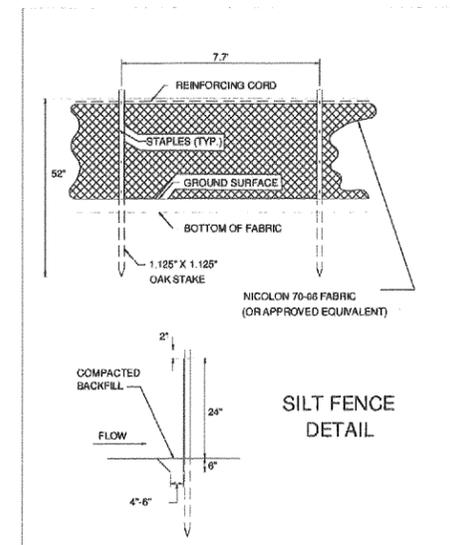
SCALE: 1" = 15'

LEGEND

	Existing	Proposed
Sanitary Sewer	---	---
Storm Sewer	---	---
Watermain	---	---
Contour Lines	704	704
Spot Elevations	708.00	705.00
Fence	---	---
Fire Hydrant	---	---
Manhole	---	---
Light Pole	---	---
Power Pole	---	---
B-Box	---	---
San. Cleanout	---	---
Tree	---	---
Shrubs	---	---
Drainage Pattern	---	---
Silt Fence	---	---

VILLAGE NOTES

- BMP's inspection - inspection is required when excavation is complete, pipes are connected and exposed and stone for backfilling is on site.
- Level spreader inspection - inspection is required when excavation is complete, pipes are connected and exposed and stone for backfilling is on site.
- Any connections to the storm sewer - inspection is required when excavation is complete, pipes are connected and exposed and stone for backfilling is on site.
- Driveways, Sidewalks & curbs in the parkway - Asphalt or Concrete, when driveway is laid-out, excavated, formwork is in place, and subgrade has been placed.
- Street patches for sanitary connection - 3 inspections
 - Connection inspection to be carried out and approved by Flag Creek
 - Pre-pour inspection for flow-able fill, stone backfilled 1 ft above pipework, flow-able fill on site
 - Pre-pour for final concrete, 10 inches from final grade, concrete on site.
- Street patches for water connection - 3 inspections
 - Connection inspection to be carried out and approved by Hinsdale Water Department
 - Pre-pour inspection for flow-able fill, stone backfilled 1 ft above pipework, flow-able fill on site
 - Pre-pour for final concrete, 10 inches from final grade, concrete on site.
- Final Grade Inspection
 - When the site is complete in accordance with the permitted site grading plan, 70 % vegetated and all other Engineering and Public Works inspections are complete.
- Stormwater Bond Inspection
 - Carried out 12 months after the Certificate of Occupancy has been issued.



BENCHMARK INFORMATION

VILLAGE OF HINSDALE BENCHMARK: FIRE HYDRANT LOCATED AT THE SOUTHEAST CORNER OF OAK AND FOURTH STREET. ARROW ON CAP

ELEVATION = 689.39

SITE BENCHMARK: WATER VALVE MANHOLE LOCATED ON THE INTERSECTION OF WOODSIDE AVENUE AND OAK STREET.

RIM ELEVATION = 701.30

INTERIM STORM WATER NOTES

- FOUNDATION DE-WATERING WILL BE DIRECTED TO THE CURB AND AIMED TOWARDS A CURB INLET.
- CONSTRUCT SWALES AFTER FOUNDATION BACKFILL DIRECTING STORMWATER AWAY FROM ADJACENT RESIDENCES, IF REQUESTED BY VILLAGE OF HINSDALE STAFF.

DEMOLITION NOTES

- TANKER TRUCK ON SITE WITH A MINIMUM 100 GALLON/MINUTE CAPACITY TO PROVIDE WATER SOURCE FOR DEMOLITION OPERATIONS.
- CLEANUP CONTACT: JAMES DOHERTY (PHONE # (630) 484-9319)

CONSTRUCTION NOTES:

- Install Silt/Safety Fence prior to the start of excavation activities.
- Install 3" rock for construction entrance prior to excavation activities.
- Disconnect all utilities at their mains.

GENERAL NOTES:

- Utilities and improvements shown hereon based on visible field verified structures and Village of Hinsdale Utility Atlases.
- Boundary information shown hereon is for graphical depiction only.
- This drawing does not constitute a plat of survey.



This is to certify that I, ALECS C. HO, performed the topographical survey and that what is drawn is a correct representation of the field observations

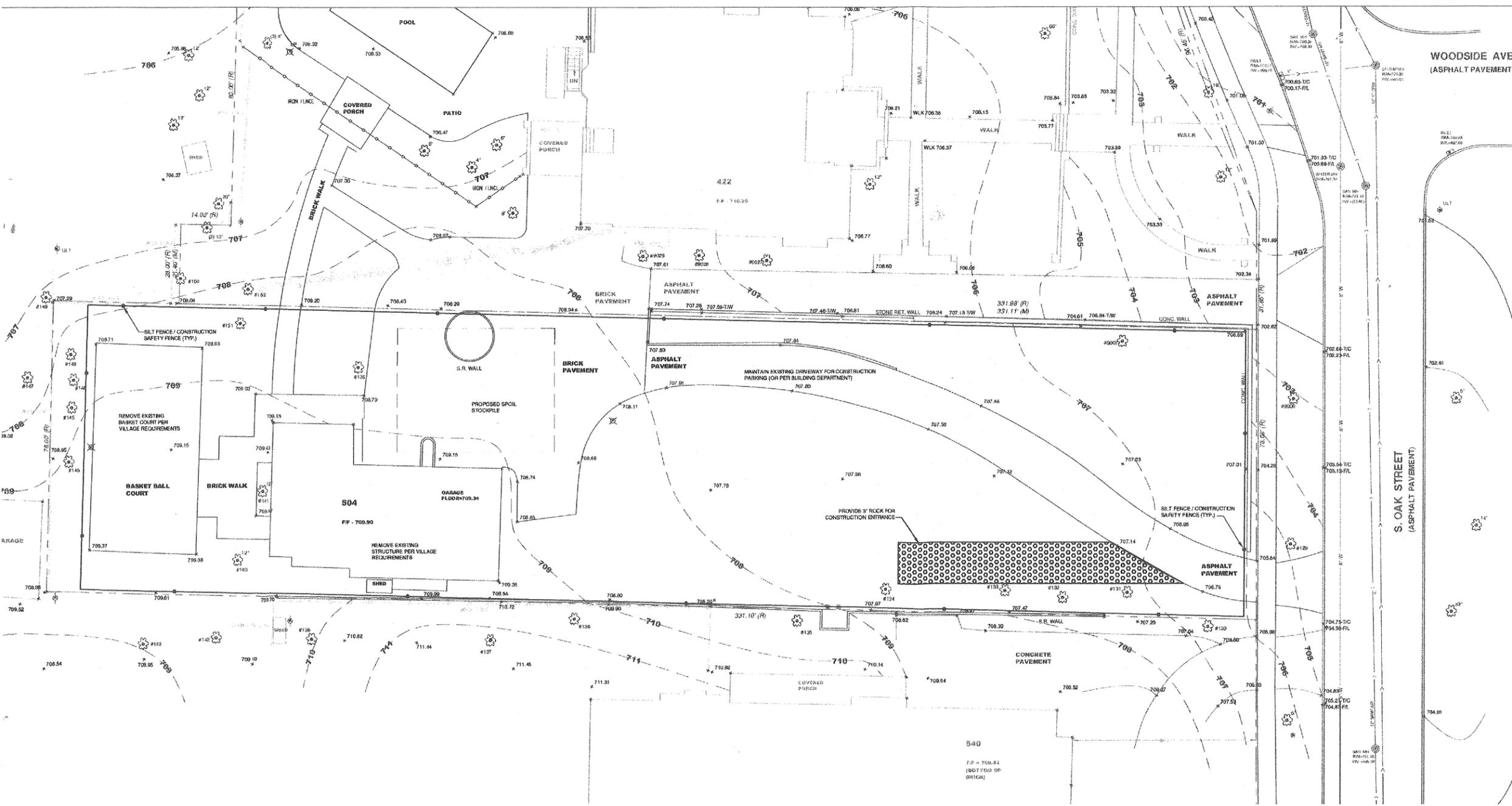
Dated this 12th day of January 2017 at Elmhurst, Illinois.

Alecs Ho

Attachment 1
Illinois Professional Engineer Number 082-054937
My License Expires November 30, 2017

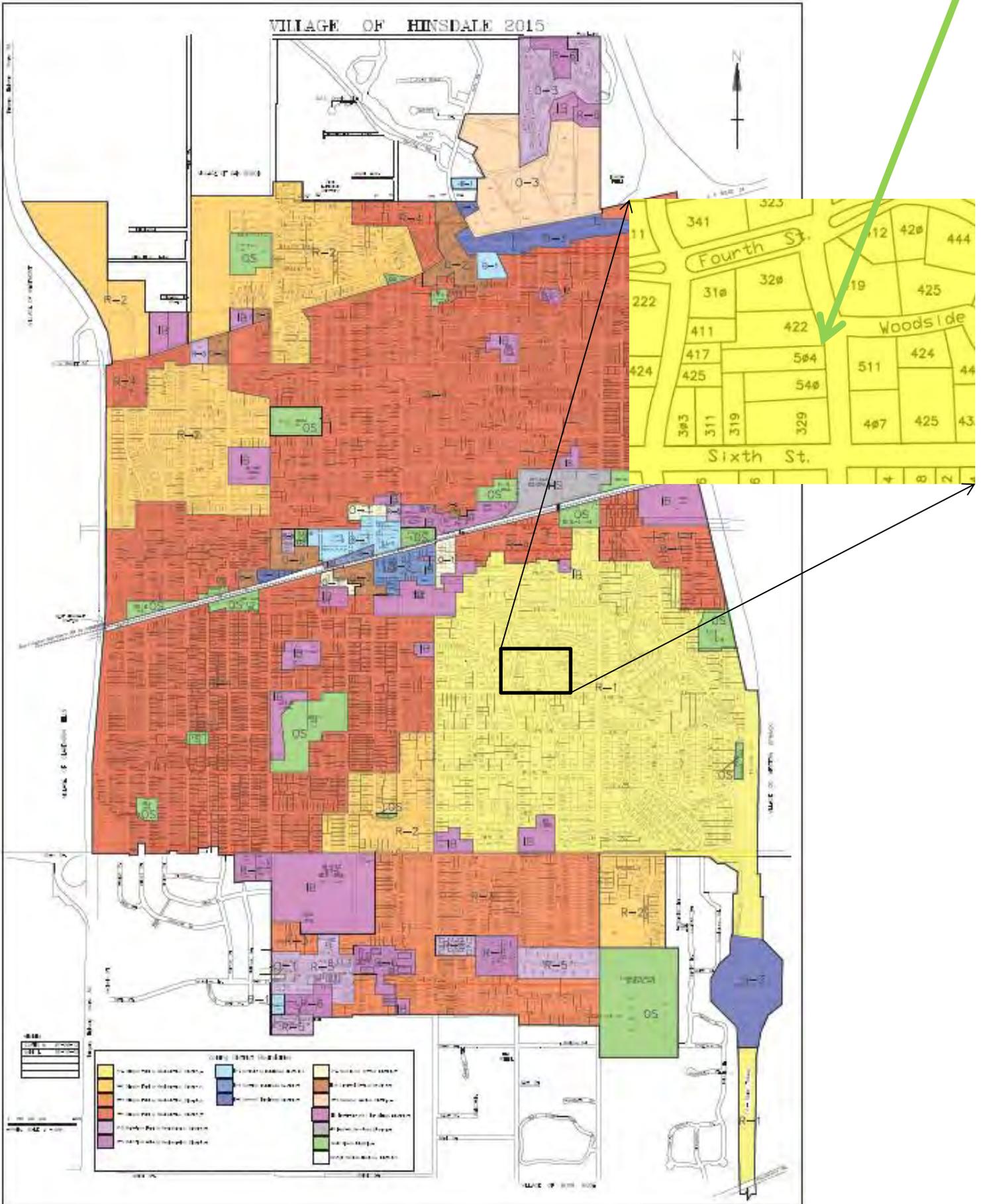
CONSTRUCTION SCHEDULE

DEMOLITION	SEPTEMBER	2017
FOUNDATION POUR	SEPTEMBER	2017
FRAMING	OCTOBER	2017
RESTORATION	APRIL	2018

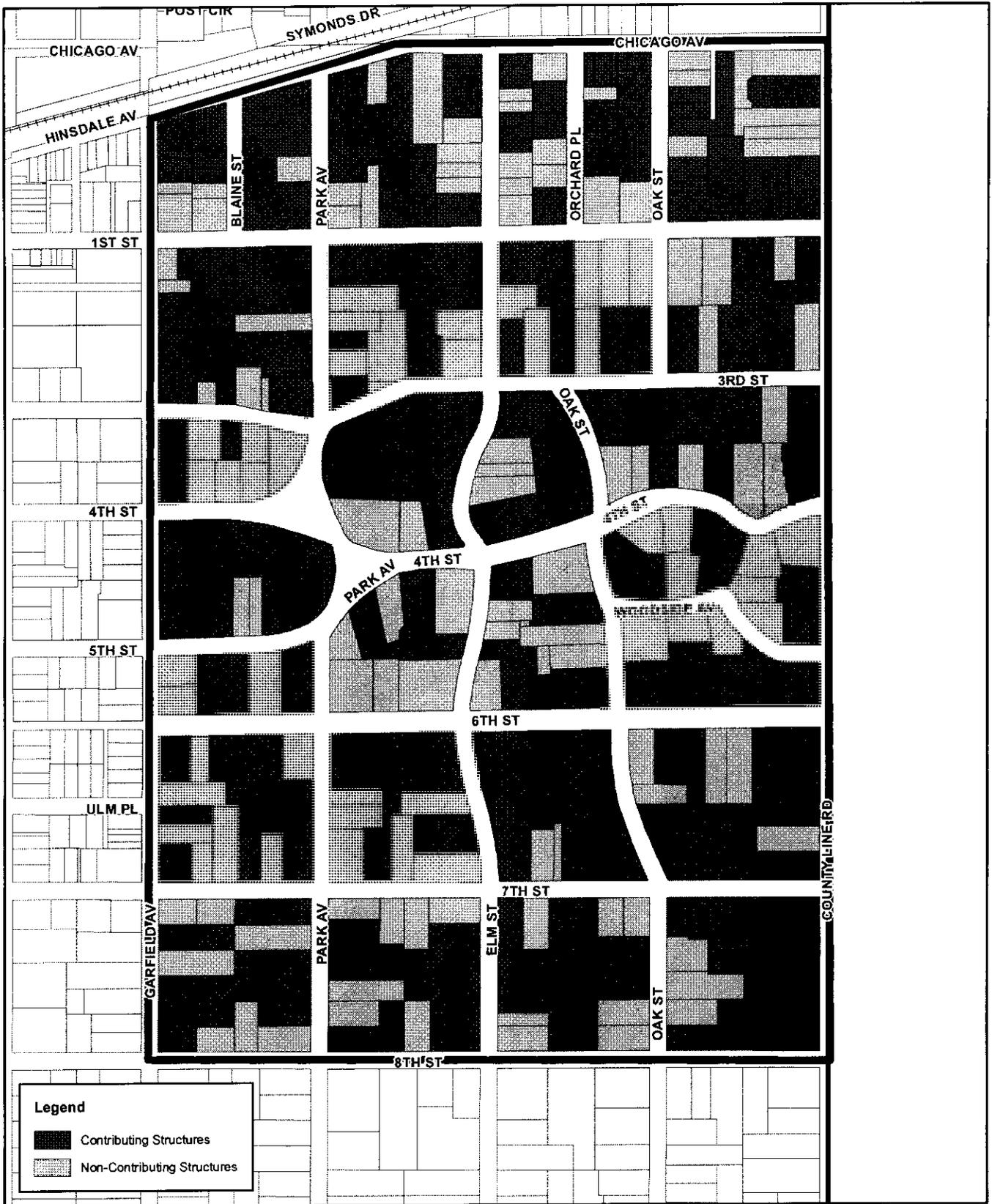


EXISTING TOPOGRAPHY & EROSION CONTROL PLAN
 504 S. OAK ST. - HINSDALE, IL
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 FILE NAME: [Name]
 JOB DIRECTORY: [Name]
 PREPARED FOR: BAYT BUILDERS
 GABRIEL GROUP, INC.
 Civil Engineering Solutions
 P.O. Box 8376 - Oak Brook, IL 60522
 Tel: 630-772-9393 Fax: 630-756-4151

Attachment 2: Village of Hinsdale Zoning Map and Project Location



ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 15

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORICNAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
4	S OAK	American Foursquare	c. 1910	Conover, Lawrence F. House	C	-			
7	S OAK	Neo-Traditional	1987		NC	-			
8	S OAK	American Foursquare	c. 1915		C	C			detached garage
13	S OAK	American Foursquare	c. 1910		C	C			detached garage
14	S OAK	Colonial Revival	c. 1910		C	NC			detached garage
17	S OAK	American Foursquare	c. 1910		C	C			detached garage
23	S OAK	Prairie	c. 1915	Conover, Isabel S. House	C	-			
24	S OAK	Colonial Revival	c. 1915		C	NC			detached garage
30	S OAK	Craftsman Bungalow	c. 1920		C	C			detached garage
31	S OAK	Neo-Traditional	1997		NC	-	Mifflin Assoc., R. A. (RAM)	Hallmark Homes of Hinsdale	
35	S OAK	Craftsman	c. 1910		C	-			
36	S OAK	Renaissance Revival	1928	Jaedecke, C.P. House	C	-	Wilkins, S. W.	Droos, A.	
136	S OAK	Craftsman	1912	Barfield, William G. House	C	-	Barfield, William Gibson		
316	S OAK	Colonial Revival	c. 1895	Hildebrand, Lewis K. House	C	C			detached garage
327	S OAK	Neo-Traditional	2005-06		NC	-			
419	S OAK	Classical Revival	c. 1910-11	Hicks, Ernest H. House	C	-			
422	S OAK	Prairie	1904	Brown, Charles A. House	C	-	Zimmerman, William Carbys		
504	S OAK	No style (altered)	c. 1940		NC	-			
511	S OAK	No style	c. 1925		NC	NC			Detached garage
540	S OAK	Neo-Traditional	1998		NC	-	Kang, Sinsuk	Peyton, Alan R.	
610	S OAK	Ranch	1952	Framburg, Mr. & Mrs. Stanley	C	C	Stade, Charles	Wendell, A. W. & Son	Shed

Wednesday, November 1, 2017

Hinsdale Historical Society and Historic Preservation Committee's partnership.

Mobile Tours App: Historical Tourist: Hinsdale Edition
October 2017 Update

The ad hoc app workgroup at the Society continue to make substantial progress on the app testing and development.

The Downtown Tour has: complete information uploaded, been developed into the Round 1 prototype and undergone its first full review. Next steps are to work with the MYTOURS vendor to address the minor cosmetic issues in the app presentation (eg. extra white space in some areas), identify a few new photographs about the: society, zook home and studio, volunteering and donating and then testing the touring functionality.

The South and North Tours are nearly ready for submission to the vendor to "publish" those tours in the app prototype. The narratives have been written, reviewed, and edited. Photographs have been chosen and captioned. Next steps are to: load the photos, submit the tour information to MYTOURS to publish in the app, review these tour features and layout in the app prototype, identify and rectify any cosmetic changes and test the touring functionality.

As a reminder, we welcome the help of any interested Commissioners who would like to be involved in the launch planning or testing the tour functionality of the prototype this fall and winter. Please send Society board member, Karen Dunn Lopez and email if you are interested at kdunnlopz@gmail.com.